
Date: 2024.05.10
Project Name: KCKHA Parking Repairs, Package #2
Veritas Project #: 22.39

Drawings and Specifications for the above noted project and work covered thereby are herein modified as follows, and except as set forth herein, otherwise remain unchanged and in full force and effect. This addendum is part of the bidding documents for the above named project and modifies the original bidding documents. Acknowledgement of the receipt of this addendum is required as part of the bid.

A. PRIOR ADDENDA CHANGES

- a. No prior addenda changes. Current addendum issued as addendum No. 01

B. PRE-BID CONFERENCE MEETING MINUTES

- a. See attached.

C. GENERAL

- a. Allowances: city permit fee and utility relocation fee have not been determined. Provided these allowances as part of bid total.
- i. City permit fee: \$10,000
- b. Revised drawings: Be sure to review updated drawings. Several additions and/or expanded items to repair projects.
- c. Repair curbs and sidewalks specifically designated in plans. Respective general note to 'patch and repair all curbs...' etc. has been removed.
- d. Project contract timeline:
- i. KCKHA and Contractor to discuss and agree upon a reasonable project time frame per site, after contract is awarded.
- e. Mobilization: Construction phasing plan considered 'means and methods' and will be the responsibility of the Contractor. Construction phasing plan to be coordinated with KCKHA.
- f. Approaches: Approach replacement, where indicated on drawings, to be 8" min. slab thickness replacement, per KCK UG standard specifications.

D. DRAWINGS

a. ARCHITECTURAL

i. D00, PARKING LOT REPAIR PLAN (DOUGLAS HEIGHTS HIGH RISE):

1. Added and/or expanded several locations for sidewalk and curb repair.
In turn, increased repair quantities.
2. Revised notes on dock wall.
3. Mill & Overlay on legend revised, simplified.
4. General note on 'patch repair all curbs and sidewalks' removed.

ii. R00, PARKING LOT REPAIR PLAN (ROSEDALE TOWERS):

1. Added and/or expanded several locations for sidewalk and curb repair.
In turn, increased repair quantities.
2. Mill & Overlay on legend revised, simplified.
3. General note on 'patch repair all curbs and sidewalks' removed.

b. CIVIL

i. C1.0 Demolition Plan

1. Added replacement of existing storm inlet top.
2. Updated demolition coordinate points

ii. C2.0 Site Plan

1. Added replacement of existing storm inlet top.

iii. C3.0 Dimension Plan

1. Updated dimensions to reflect storm inlet top replacement.

iv. C4.0 Grading Plan

1. Updated spot grades to reflect storm inlet top replacement.

Pre-Bid Minutes
24-01-56 (18) & (6E) Parking Lot Repairs Phase 2
Wednesday April 3, 2024
9:00 a.m. CST

Attendees:

Travis Wilson	Veritas Architecture & Design
Todd Redburn	Veritas Architecture & Design
Susan Martin	KCKHA Director Of Contract Administration
Jeremy Simon	KCKHA Modernization Coordinator
Maria Felhaber	KCKHA Administrative Assistant
Interested bidders	(See Attached List)

The meeting was commenced by Susan Martin with an introduction of the Kansas City Kansas Housing Authority staff and architects Travis Wilson, AIA and Todd Redburn, AIA, with Veritas Architecture & design. Todd Redburn gave a description of the project, advising it will be a standard parking lot repair with re-striping. He explained this is a two-site project and the difference between phase one and phase two is that phase two has an additional lot. Travis Wilson explained this would be our phase two following the first parking lot repairs already under construction. Mr. Wilson explained this would include repairing the parking lots, re-striping, mill and overlay to the existing parking lots as well as the additional green field at Douglas Heights being converted into parking spots. A new parking lot will be added to Douglas Heights, a new approach and a new drive at Rosedale with some parking addition. Mr. Wilson explained this phase of the project did require permitting by the Unified Government of Wyandotte County and we are still on the permitting process. Mr. Redburn explained UG was notified of permitting late February and the project was officially submitted to them in March. Mr. Wilson added that ideally, we can add any changes incorporated by UG into the addendum before bids are due. In the case this is not what happens, we will have any changes made by UG after bids are due as a change order or a proposed bid addendum. Mr. Wilson invited all contractors to look at the drawings and advised we would not be holding allowances for the unit prices on the bid form, but we ask that you provide those unit prices.

Pre-bid conference questions:

- Q. Will this be mill and overlay?
A. Yes, mill and overlay.
- Q. Is there a landscaping plan added to this?
A. No.

Additional questions can be sent to todd@veritas-ad.com and are due by noon on April 9, 2024. An addendum will be issued out and acknowledgement will be required with the bid.

Please be advised that bids will be received **by 2:00 P.M., April 15, 2024**, at the Kansas City Kansas Housing Authority office located at 1124 North 9th Street, Kansas City, Kansas. Bids received after this time will not be considered.

-Prevailing wage is required for this project.

-Performance and payment bonds are required for this project.

-Documents required with your bid and documents.

Bid Form

Bid Bond (5% of bid amount)

With no further questions, the meeting was adjourned.

SECTION 3 "X-FACTOR PREFERENCE

The Kansas City Kansas Housing Authority has adopted a preference for Section 3 certified business in its sealed bidding of construction contracts. To be eligible for the preference business concerns must meet the following requirements.

ELIGIBILITY REQUIREMENTS FOR SECTION 3 "X-FACTOR PREFERENCE

To receive preference under Section 3, all business concerns must present Section 3 certification or documentation verifying such status in their sealed bid packet. KCKHA will honor documented certification provided by any metropolitan area municipality or contracting association. If your company qualifies as a Section 3 employer you must self register on www.HUD.gov.

The Section 3 Business Concerns bid, includes all required information and document submissions required to determine it a responsible and responsive bid.

The X-Factor applies to procurement by sealed bids. Award can be made to certified Section 3 business concerns, IF their bid is:

- A. Within the project budget AND
- B. Not more than "X" percent higher than the total bid price of the lowest responsive bid from any responsible bidder. (see below)

X-Factor Schedule

When the lowest responsive bid is:

<\$100K 10% of that bid

>\$100K, but <\$200K 9% of that bid

>\$200K, but <\$300K 8% of that bid

>\$300K, but <\$400K 7% of that bid

>\$400K, but <\$500K 6% of that bid

>\$500K, but <\$1M 5% of that bid

>\$1M, but <\$2M 4% of that bid

>\$2M, but <\$4M 3% of that bid

>\$4M, but <\$7M 2% of that bid

>\$7M, or more 1 ½% of the lowest bid

Supplemental Information 24-01-56 (18) & (6E) Parking Lot Repairs Phase 2

Interested Bidders

- McConnell & Associates
- Phillips Site Works
- Calvert's Paving Inc.
- Asphaltic Surfaces
- Southern Concrete
- Julius Kaaz Construction
- Advanced Asphalt
- Infrastructure Solutions
- Gann Asphalt & Concrete
- Advanced Asphalt & Concrete
- RUI Construction
- ConstructConnect
- Gunter Construction

Additional Questions

Q: Is the 12" Stabilized Subgrade (Detail 1/G02) to be treated with flyash? If so, at what percentage?

A: You typically treat with flyash when soils have high swell potential, or are exceptionally wet; not recommended treating them with fly ash, or anything else, until such time that they are exposed and confirmed to be wet, high swell, or otherwise.

Q: Is the "Limerock" (Detail 2/G02) just compacted AB3?

A: Detail indicates that the contractor is to restore the deteriorated product. Acceptable for contractor to identify the subgrade material once the pavement is removed and it's exposed. It's reasonable to think that the existing aggregate material under asphalt could be AB3.

Q: Will the owner cover any utility connection fees for the new electrical? If not, what are their costs?

A: No.

Q: Will the owner waive for all permit fees?

A: No.

Q: Are we to seed or sod disturbed areas?

A: Yes. Similar to note #3 "EROSION AND SEDIMENT CONTROL GENERAL NOTES", Sheet C3.0

Q: Will KDOT or the Housing Authority be performing inspection duties on this project?

A: KCKHA responsible for specified concrete inspections. KCK UG will provide information on any additional inspections upon permit approval.

Q: What is the anticipated NTP for this project?

A: No NTP at this time. KCKHA & Contractor to discuss and agree upon a reasonable project time frame per site, after contract is awarded.

Q: Is the dock ramp going back as concrete or asphalt. (Needs to be concrete)?

A: concrete

Q: Do we need to be using the erosion control blankets/ turf mats?

A: Yes, reference C5.0 EROSION CONTROL PLAN

Q: Do you have a list of IHA approved subcontractors? Is this project restricted to only IHA prime bidders or will this be open to all contractors?

A: Regarding your inquiry, I want to confirm that the bidding process is open to all contractors. However, it is imperative that all contractors adhere to the prevailing wage requirements outlined in the Davis-Bacon Act. Additionally, certified payroll reports will be required to ensure compliance with these wage regulations.

Q: General repair note (2) on sheet R00 & D00 references sheet G01 for seal specifications – there are notes on sheet G02, are these the correct notes?

A: Yes. Respective note revised to reference sheet G02.

Q: C1.0 general note 7 calls out for 6' construction fencing at the project site if required by the owner or city – is this required?

A: Construction fencing not mentioned in KCK UG design guidelines. Contractor to confirm fencing requirements w/ KCK UG. Owner (KCKHA) does not require construction fencing.

Q: Are cut and fill quantities available for the grading plan C3.0 (Douglas Heights)?

A: No.

Q: Is a Geotech report available for these project sites?

A: No Geotech report is currently available. Contractor shall procure Geotechnical engineer's soil tests, approvals, and recommendations.

Q: Sheet C3.0 (Douglas Heights) note 1 states the contractor is responsible for over excavation of unsuitable soils, without a Geotech report, this will be difficult to ascertain anticipated quantities of unsuitable soils. Note 7 on the same sheet, allows for flyash or lime to stabilize the subgrade at the contractors expense – can this be added as a bid alternate if this work is required? This same question pertains to Rosedale Towers.

A: Recommend including respective item as an allowance within the contractor's line items, effectively adding to the lump sum bid total.

Q: Is import topsoil required? Or will onsite topsoil be acceptable?

A: Onsite topsoil is acceptable.

Q: Is hydroseed acceptable for site restoration? Or will sod be required?

A: Hydroseed is acceptable.

Q: D00 & R00 notes for mill and overlay are unclear – is the pavement restoration to follow detail 1 or 2 on sheet G02? The note for sealcoat is also unclear, is this in addition to the mill and overlay?

A: Detail 2. Sealcoat not designated for these projects. Please disregard the standard note commonly utilized in other projects.

Q: Are there any fees associated with the Evergy, OHE, UGE, structure or pole relocation?

A: Utility company fees will be responsibility of contractor. Recommend including an allowance within the contractor's line items, effectively adding to the lump sum bid total.

Q: Are there any fees associated with relocating the communication structures or underground circuits?

A: Utility company fees will be responsibility of contractor. Recommend including an allowance within the contractor's line items, effectively adding to the lump sum bid total.

Q: Sheet R00 shows us milling & overlaying through the drives on W 39th Ave. Are you wanting these concrete drives milled, removed/replaced, or should we just mill/overlay up to the drive edges?

A: Approaches corresponding to W 39th Ave,

- West: to be replaced. Updated revision will be released in Addendum
- East: existing approach to remain. Mill and overlay to edge of existing approach.

Q: Have you submitted these plans to the city for approval?

A: Yes, plans have been submitted to KCK UG for review. Timeframe of the review and/or to when project will be awarded approval is undetermined.

Q: Have you determined what your building permit fees will be that you want us to include in our bids?

A: KCK UG has not determined building permit fee.

Allowance of \$10,000 for building permit fees to be included within the contractor's line items, effectively adding to the bid total.

Q: This question pertains to the previous Geotech report question – is there any rock excavation anticipated on the parking lot addition at Douglas Heights?

A: Rock excavation is not anticipated. Also, after speaking w/ civil engineer: a Geotech report will not be required to perform work.

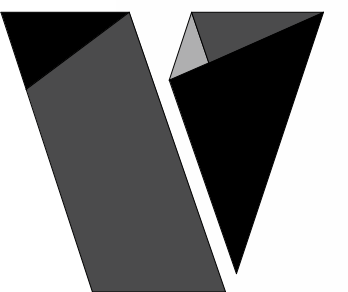
Q: There is a general note on both sites, note (1) R00 & D00, to patch and repair all curbs and adjoining sidewalks. Is a polymer repair material acceptable for this? Or are these to be removed and replaced?

A: Patch repair only curbs and sidewalks designated in drawing plans. Respective note to be removed in Addendum.

Q: Are the concrete drive approaches on W 39th at Rosedale Heights, R00, to be repaired? The mill and overlay limits include these two drives.

A: Approaches corresponding to W 39th Ave,

- West: to be replaced. Updated revision will be released in Addendum.
- East: existing approach to remain. Mill and overlay to edge of existing approach.



veritas
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707 n. 6th street
Kansas city, ks 66101
www.veritas-ad.com
913.624.1610

consulting engineer:

issued for bid

KCKHA PARKING IMPROVEMENTS

DOUGLAS HEIGHTS HIGH RISE

1742 S 40TH ST, KANSAS CITY, KS 66106

REVISIONS		
No.	Description	Date
A	Addenda	04/10/24

sheet issue date:
11/17/23

project no.:
22.39

sheet contents:
PARKING LOT REPAIR
PLAN

sheet no.:

D00

GENERAL REPAIR NOTES

- SEE SHEET G02 FOR SPECIFICATIONS ON SEALCOAT TYPE AND APPLICATION REQUIREMENTS.

LEGEND

2" MILL & OVERLAY:

CURB REPAIR:
REMOVE & REPLACE EXISTING CONCRETE CURB.
REFERENCE CURB DETAILS.

PAVEMENT REPAIR:
REMOVE & REPLACE PORTION OF EXISTING
SIDEWALK / PAVEMENT. REFERENCE SIDEWALK
DETAILS.

PARKING LOT REPAIR QUANTITIES

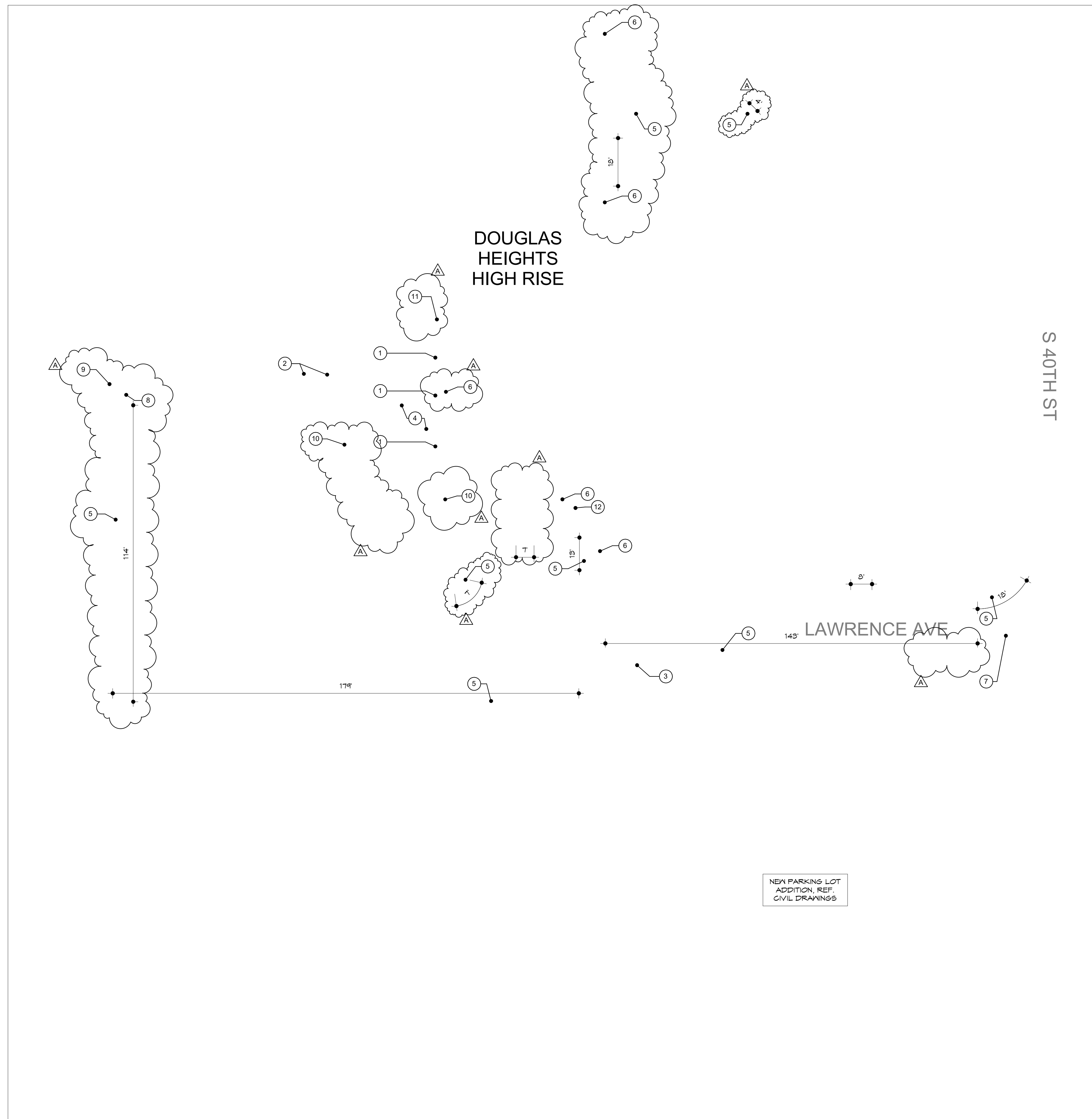
MILL & OVERLAY	33,451 SF
CURB REPAIR	525 LF
FLATWORK/CONCRETE REPAIR	45 SF
RAMPS	1,365 SF
DOCK WALL	116 SF

PARKING ADDITION

NEW PAVING	8,548 SF
NEW CURBS	416 LF
APPROACH	(1) @ X 352 SF

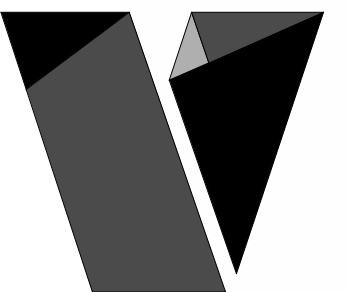
PARKING LOT REPAIR PLAN NOTES

- PATCH & REPAIR EXISTING CONCRETE DOCK WALL
- DEMO EXISTING RAMP, CONSTRUCT NEW RAMP TO BE CENTERED/ALIGNED TO ADA ACCESS AISLE
- DEMO EXISTING CURB, CONSTRUCT NEW ADA RAMP
- DEMO PORTION OF EXISTING PAVEMENT, CONSTRUCT NEW 8" THICK PAVEMENT
- DEMO PORTION OF EXISTING CURB, CONSTRUCT NEW CURB, MATCH EXISTING
- DEMO & REPLACE PORTION OF EXISTING SIDEWALK. REPLACE BY FULL SECTIONS.
- DEMO EXISTING DRIVE APPROACH & CONSTRUCT NEW DRIVE APPROACH
- DEMO INLET THROAT OF STORM INLET, CONSTRUCT NEW INLET THROAT
- DEMO PERIMETER CURB OF STORM INLET, CONSTRUCT NEW PERIMETER CURB
- DEMO & REPLACE PORTION OF EXISTING SIDEWALK AND CORRESPONDING CURB. REPLACE SIDEWALK BY FULL SECTIONS.
- PATCH, FORM, & FILL EXISTING CONCRETE DOCK WALL
- DEMO & REPLACE PORTION OF EXISTING SIDEWALK. REPLACE BY FULL SECTIONS.



1 OVERALL PARKING LOT REPAIR PLAN - DOUGLAS HEIGHTS HIGH RISE
1" = 20'-0"





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consulting engineer:

issued for bid

KCKHA PARKING IMPROVEMENTS

ROSEDALE TOWERS

2314 W 39TH AVE, KANSAS CITY, KS 66103

REVISIONS		
No.	Description	Date
A	Addenda	04/10/24

sheet issue date:
11/17/23

project no.:
22.39

sheet contents:
PARKING LOT REPAIR
PLAN

sheet no.:

R00

GENERAL REPAIR NOTES

- SEE SHEET G02 FOR SPECIFICATIONS ON SEALCOAT TYPE AND APPLICATION REQUIREMENTS.

LEGEND

2" MILL & OVERLAY:

CURB REPAIR:
REMOVE & REPLACE EXISTING CONCRETE CURB.
REFERENCE CURB DETAILS.

PAVEMENT REPAIR:
REMOVE & REPLACE PORTION OF EXISTING
SIDEWALK / PAVEMENT. REFERENCE SIDEWALK
DETAILS.

PARKING LOT MARKING PLAN NOTES

- EXISTING STORM DRAIN GRATING & STRUCTURE TO REMAIN, PROTECT
- DEMO PORTION OF EXISTING CONCRETE ENTRY RAMP. CONSTRUCT NEW CONCRETE RAMP TO MATCH ORIGINAL
- DEMO EXISTING DRIVE APPROACH & CONSTRUCT NEW DRIVE APPROACH
- DEMO PORTION OF EXISTING CURB, CONSTRUCT NEW CURB, MATCH EXISTING
- DEMO EXISTING CURB, CONSTRUCT NEW ADA RAMP, CONSTRUCTION NEW SIDEWALK TO CORRESPOND W/ NEW RAMP AND CONNECT TO EXISTING.
- DEMO PORTION OF EXISTING SIDEWALK (TWO SECTIONS), CONSTRUCTION NEW ADA TRANSITION RAMP
- DEMO & REPLACE PORTION OF EXISTING SIDEWALK AND CORRESPONDING CURB. REPLACE SIDEWALK BY FULL SECTIONS.
- DEMO & REPLACE PORTION OF EXISTING SIDEWALK (ONE SECTION)
- DEMO & REPLACE PORTION OF EXISTING SIDEWALK AND CORRESPONDING CURB. REPLACE SIDEWALK BY FULL SECTIONS.
- DEMO & REPLACE EXISTING CONCRETE ENTRY/SIDEWALK
- CUT OUT EXISTING CONCRETE EXTRUSION
- DEMO & REPLACE PORTION OF EXISTING SIDEWALK (ADDITIONAL TO WHAT IS INDICATED ON CIVIL) REPLACE SIDEWALK BY FULL SECTIONS.

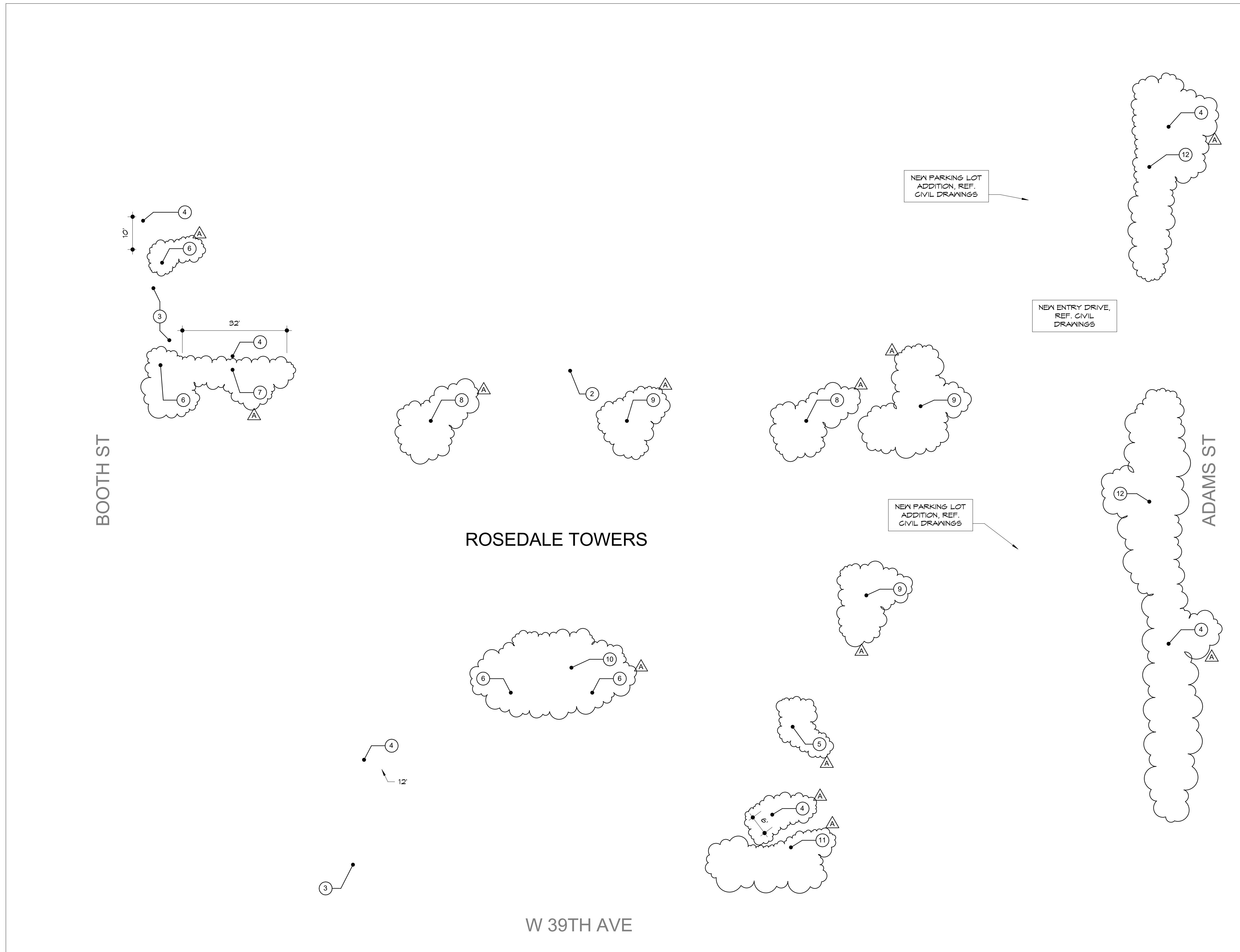
PARKING LOT REPAIR & ADD-ON QUANTITIES

EXISTING LOT

MILL & OVERLAY	26,885 SF
CURB REPAIR	233 LF
NEW RAMP	150 SF
APPROACH	(2) @ X 352 SF
FLATWORK & SIDEWALK REPAIR	1742 SF

PARKING ADDITION

NEW PAVING	2,946 SF
NEW CURBS	320 LF
APPROACH	(1) @ X 352 SF



1 OVERALL PARKING LOT REPAIR PLAN - ROSEDALE

1/16" = 1'-0"



REVISIONS		
No.	Description	Date
A	Addenda	04/10/24

sheet issue date:
2023.10.18

project no.:
23.39

sheet contents:
DEMOLITION PLAN

sheet no.:

C1.0

GENERAL NOTES

- Contractor shall verify the location, size, material and depth of all utilities prior to any excavation or construction activity.
- All materials shall be removed and disposed of off-site. It is the contractors responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- The Contractor shall ensure that any structures to remain which are damaged during demolition operations shall be repaired to meet current code, at no additional cost to the owner.
- The Contractor shall remove any and all existing debris which is encountered from the existing site. This shall include, but shall not be limited to, footings, concrete slabs, conduits, granular subgrade, utility services, and/or unsuitable structural fill material as determined by the owner's engineer. The cost for these removals shall be considered incidental to the project. Said debris shall become property of the contractor and it shall be the responsibility of the contractor to dispose of properly off-site.
- It shall be the Contractor's responsibility to meet all applicable laws and regulations pertaining to the disposal of construction/demolition material.
- The Contractor shall be responsible for obtaining and payment of any permits for demolition that pertain to this project.
- All protection fencing shall be installed prior to demolition/construction activity. The Contractor shall provide a 6-foot security fence around the entire job site with locked gated access points, if required by the owner or the city.
- All existing utilities removed during construction shall have their trenches backfilled with structural fill and be compacted to the requirements for structural fill.
- All removals required to properly perform the work (whether shown on the plans or not) shall be performed by the Contractor at no additional cost to the owner.

DEMOLITION NOTES

- REMOVE & DISPOSE OF EXISTING ASPHALT.
- REMOVE & DISPOSE OF EXISTING CURB.
- REMOVE AND DISPOSE OF CONCRETE SIDEWALK.
- REMOVE AND DISPOSE OF PLANTER BOXES.
- SAW CUT EXISTING PAVEMENT TO FULL DEPTH AND CLEAN EDGE.
- CONTRACTOR TO COORDINATE RELOCATION OF COMMUNICATION STRUCTURE AND ASSOCIATED LINES.
- CONTRACTOR TO COORDINATE RELOCATION OF POWER STRUCTURE AND ASSOCIATED LINES.
- REMOVE AND DISPOSE OF FENCE.
- RELOCATE EXISTING POWER POLE AND ASSOCIATED OVERHEAD LINE; COORDINATE WITH EVERGY.
- RELOCATE BENCH; COORDINATE WITH OWNER.
- EXISTING GAS STRUCTURE AND CONCRETE PAD TO REMAIN.
- EXISTING COMMUNICATION STRUCTURE AND CONCRETE PAD TO REMAIN.
- EXISTING POWER STRUCTURE AND CONCRETE PAD TO REMAIN.
- EXISTING RETAINING WALL TO REMAIN.
- RESET TOP OF EXISTING STORM STRUCTURE TO ENSURE POSITIVE DRAINAGE AND REMOVE PONDING; REUSE EXISTING INFRASTRUCTURE WHERE POSSIBLE.
- EXISTING TREE TO BE REMOVED.

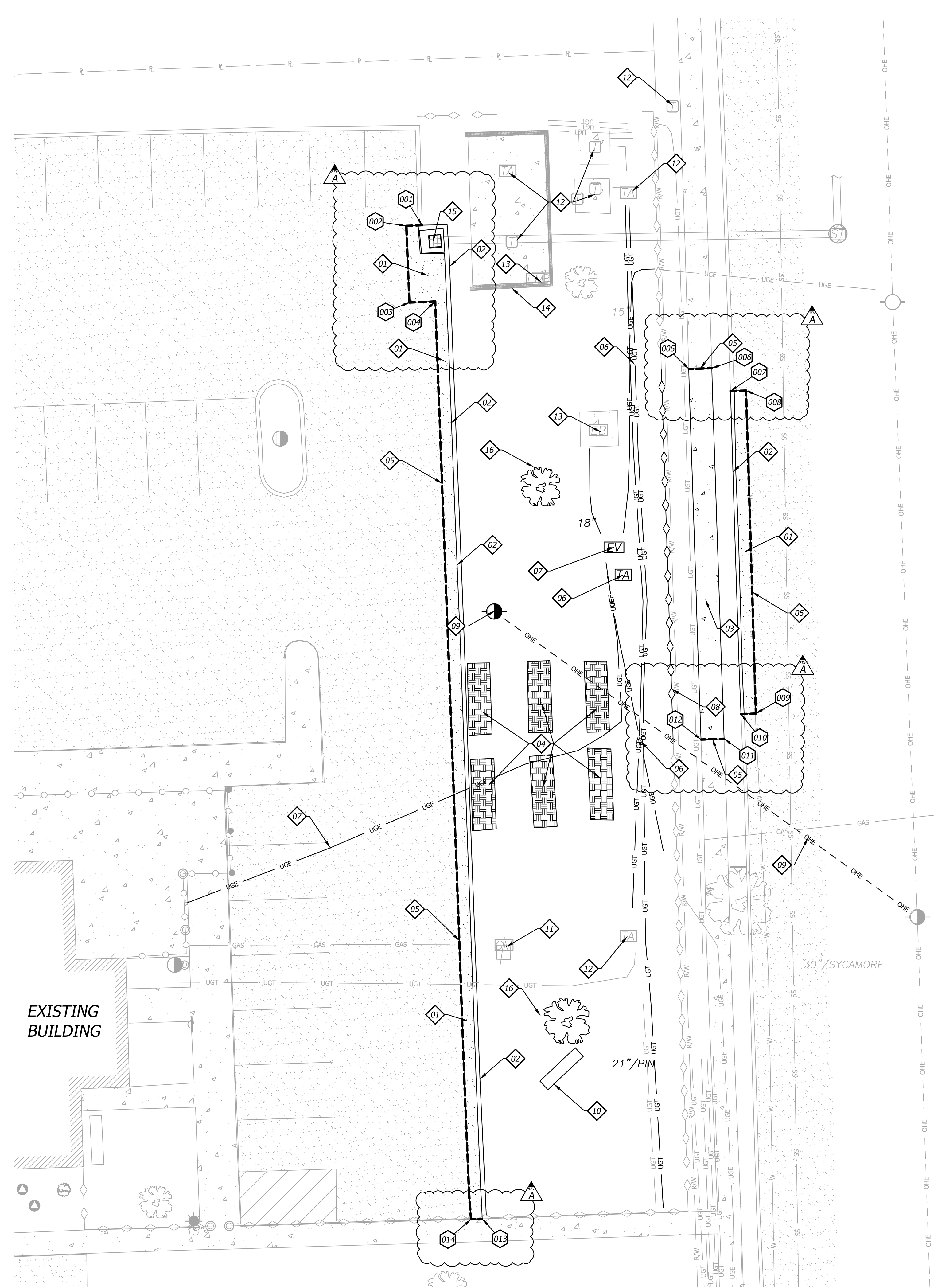
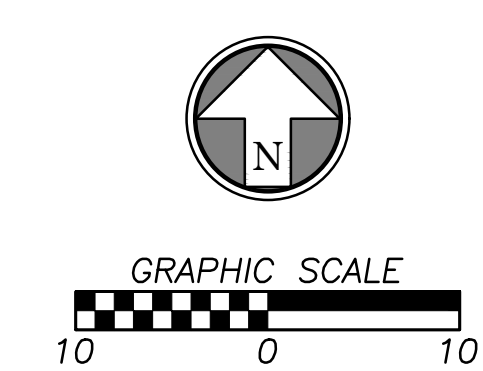
DEMOLITION LEGEND

- SAW CUT LINE
- ASPHALT PAVEMENT TO BE REMOVED
- CONCRETE SIDEWALK TO BE REMOVED

DEMOLITION POINT LEGEND

- DEMOLITION POINT INDICATOR

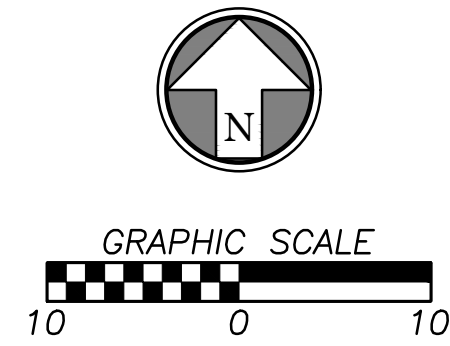
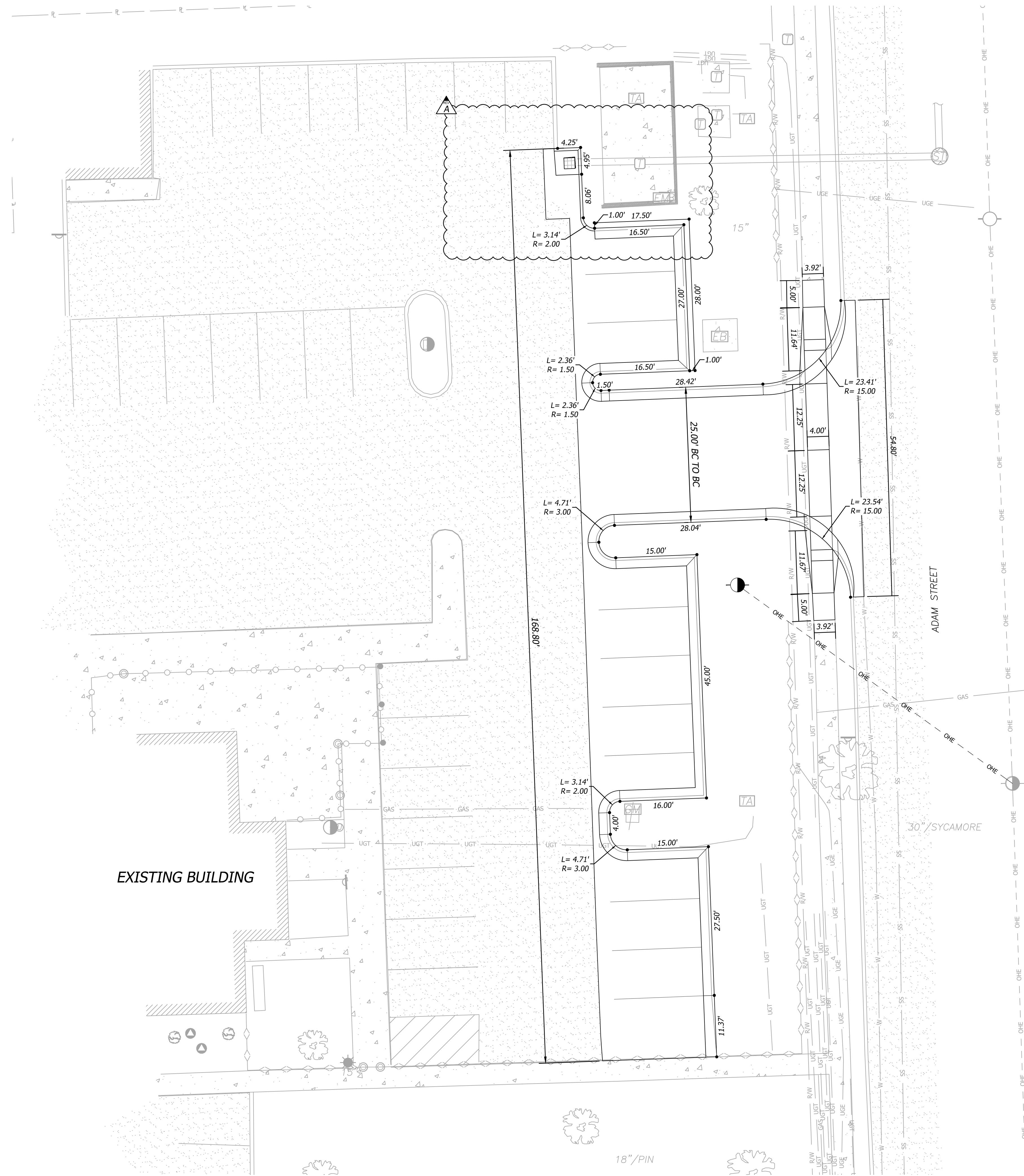
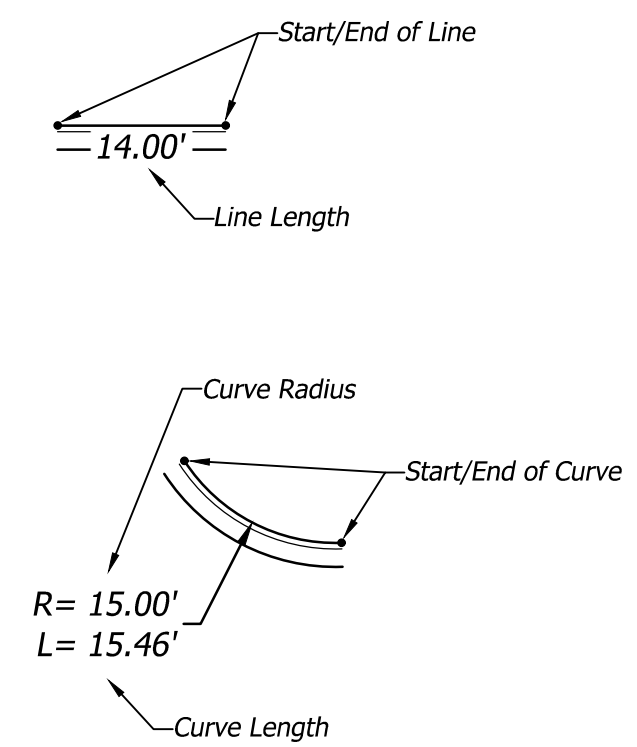
DEMOLITION POINTS		
PNT#	NORTHING	EASTING
001	281905.1110	2273826.4820
002	281904.9958	2273823.8119
003	281892.2054	2273824.3244
004	281892.1778	2273828.7051
005	281880.7310	2273871.7032
006	281880.8608	2273875.6177
007	281876.9934	2273878.7978
008	281877.0654	2273881.4249
009	281822.2896	2273883.0993
010	281822.1871	2273880.5780
011	281818.0125	2273877.7107
012	281817.8825	2273873.7913
013	281736.5884	2273836.6876
014	281736.5066	2273834.7732



DIMENSION NOTES

1. ALL DIMENSIONS ARE TO/ALONG BACK OF CURB UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS ARE TO BOTTOM OF WALL UNLESS OTHERWISE NOTED

DIMENSION LEGEND



KCKHA PARKING IMPROVEMENTS

ROSEDALE TOWERS
2314 W 39TH AVE KANSAS CITY, KS 66103

REVISIONS

No.	Description	Date
A	Addenda	04/10/24

sheet issue date:
2023.10.18

project no.:
23.39

sheet contents:
DIMENSION PLAN

sheet no.:

C3.0

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GRADING NOTES

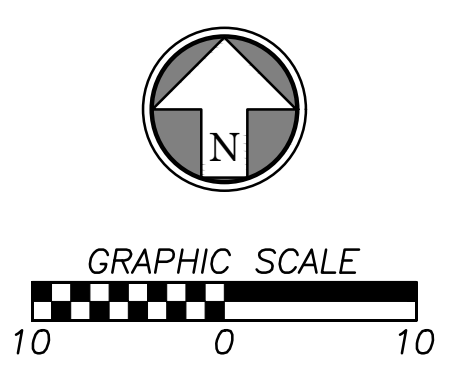
- Contractor is responsible for any over excavation of existing unsuitable soils will be required under building and pavement areas. Contractor shall perform over excavation of unsuitable soils as a part of this work.
- Contractor shall obtain soils suitable as structural fill from off-site sources. All borrow materials must be tested and approved by the Geotechnical Engineer prior to importing the soils to the project site.
- All topsoil, vegetation, root structures, and deleterious materials shall be stripped from the ground surface prior to the placement of embankments. Contractor shall obtain the on-site geotechnical representative's acceptance of the existing ground surface materials and the proposed fill material prior to the placement of fill.
- All proposed contour lines and spot elevations shown are finish ground elevations. Contractor shall account for pavement depths, building pads, topsoil, etc when grading the site.
- All disturbed areas that are not to be paved (green spaces) shall be finish graded with a minimum of six inches of topsoil.
- All excavation and embankments shall comply with the recommendations provided by the geotechnical engineer.
- Prior to placing any concrete or asphalt pavement the contractor shall perform a proof roll of the pavement sub-grade with a fully loaded tandem axle dump truck. The proof roll shall be conducted in the presence of the on-site geotechnical representative. Areas that display rutting or pumping that are unsatisfactory to the geotechnical representative shall be re-worked and a follow-up proof roll shall be conducted prior to acceptance of the sub-grade for paving. The contractor may, at its own expense, stabilize the sub-grade using Class C fly ash or quicklime, as approved by the geotechnical engineer.
- Finished grades shall not be steeper than 3:1.
- All grading work shall be considered unclassified. No additional payments shall be made for rock excavation. Contractor shall satisfy himself as to any rock excavation required to accomplish the improvements shown hereon.
- A 2.0% maximum cross slope shall be maintained on all pedestrian sidewalks and paths.

BENCHMARK NOTE:

SEE SURVEY SHEET FOR CONTROL POINTS AND BENCHMARKS.

GRADING LEGEND

	STANDARD CURB & GUTTER		980 FINISH GRADE MAJOR CONTOURS
	ZERO HEIGHT CURB		982 FINISH GRADE MINOR CONTOURS
	CURB WITH NO GUTTER		980 EXISTING GRADE MAJOR CONTOURS
	TRANSITION CURB		982 EXISTING GRADE MINOR CONTOURS
	RETAINING WALL		R PROPERTY LINE
			R/W RIGHT-OF-WAY LINE



707 n. 6th street
 Kansas city, ks 66101
 www.veritas-ad.com
 913.624.1610
 consulting engineer:



KCKHA PARKING IMPROVEMENTS
 ROSEDALE TOWERS
 2314 W 39TH AVE, KANSAS CITY, KS 66103

REVISIONS

No.	Description	Date
A	Addenda	04/10/24

sheet issue date:
2023.10.18

project no.:
23.39

sheet contents:
GRADING PLAN

sheet no.:
C4.0