

# Site Observation Report

## Kansas City Kansas Housing Authority - Plaza Tower Interior Modernization – Phase 3

March 25, 2024

Time: 9:00 a.m.  
Weather: Partly Cloudy  
Temperature: 55°F (approx.)

This site observation was performed at the request of the KCKHA Inspector, Jeremy Simon, to evaluate incomplete and non-satisfactory items in units 207 – 214 as well as the corridors and common spaces on the 2<sup>nd</sup> floor. The work has been substantially complete for some time, but gypsum board finish issues have prevented the release of retainage by the Housing Authority. Units 200 – 205 were accepted by the Housing Authority prior to this site visit. As a result at least some percentage of the retainage should be released for the units that have been accepted.

The primary purpose of this visit was to evaluate remaining deficiencies with regards to the gypsum board finish, paint, and paint preparation. Other items have been noted that were observed as deficient and should be repaired or addressed as well. Pictures provided in this report are not reflective of all deficiencies, and have been provided to depict an overall representation of the progress of the work. All pictures from this site visit are included in the link below.

<https://archetypedesigngroupinc.sharefile.com/d-s75a673d4c43a49c09be95a62ecb22ad9>

The list of noted deficiencies are as follows:

### **General Items & Notes**

1. The vast majority of deficiencies are related to gypsum board finish and paint. Blue tape was placed at each location identified.
2. The door viewers had not been installed on any of the unit entry doors for this phase. As a contract item these should be installed.
3. Many of the wood shelves in the closets have been installed upside down with the finished side installed in the non-visible position. These shelves were marked with blue tape as well.
4. Paint should be removed from all of the window frames. Paint from touch-up is visible on the window frame heads in the vast majority of window locations.

### **North & South Corridors 203 & 205**

1. Gypsum board finish and paint deficiencies were marked with blue tape.

2. Some paint (likely from paint touch-up) is visible on the wood trim next to various unity entry doors. These areas were identified with blue tape. There is also a visual record in the pictures.
3. Paint was observed on the carpet in front of Door A-205 leading to the stairwell.
4. Dried paint drips were observed on the head of the doorframe above Door A-207.
5. Some paint (likely from paint touch-up) is visible on the handrail brackets throughout the corridors. The paint should be removed from these brackets.
6. Paint is not smooth at the upper right-hand corner of the door frame at Unit 214.
7. Paint touch-up is required on the hinge side jamb of the door frame at Unit 211.
8. Mitered corner of door frame at Unit 209 required caulking & paint.
9. Gypsum board compound is built-up just above vinyl base between Unit doors 209 & 207.
10. Blank plate between Unit 207 door and Door A-202 has paint on it.
11. Strike side of door frame requires new caulk and paint.
12. Dried paint build-up is on the bottom side of the common return air grille between Doors A-202 & A-201.

### **Common Space 208**

1. Gypsum board finish and paint deficiencies were marked with blue tape.
2. Replaced T-grid and wall angle ceiling grid has not been painted to match existing ceiling grid.
3. Some areas require a bead of caulk and some paint where wall board meets ceiling grid wall angle. These areas have been identified with blue tape.
4. Clean paint from solid surface window sill just south of column bump-out at exterior wall.
5. Non-matching floor tiles were used adjacent to Door A-209.

### **Closet 211**

1. Gypsum board finish and paint deficiencies were marked with blue tape.

### **Men's Toilet 209**

1. Tile grout is missing or needs to be touch-up in select areas. These areas have been identified with blue tape.
2. Gypsum board finish and paint deficiencies were marked with blue tape.
3. Door frame paint required touch-up near the floor on the hinge side of Door A-209.

### **Women's Toilet 210**

1. Tile grout is missing or needs to be touch-up in select areas. These areas have been identified with blue tape.
2. Paint has dripped onto the floor tile near the side wall of the toilet
3. The toilet base has grey paint that should be removed.
4. There is an exposed hole in the wall tile to the left of the paper towel dispenser that will require removal and replacement with a new tile. It could not be determined at the time of this visit if this is a general contractor item or if the paper towel dispenser was moved by building maintenance.

### **Unit 207**

1. Gypsum board finish and paint deficiencies were marked with blue tape.
2. There are signs of delamination of the wood veneer at the unity entry door.
3. Paint drip and heavy brush strokes are visible on the upper left hand and upper right hand side of the unit entry door frame.
4. A label on the unit entry door frame head has been painted over. This should be removed and the frame repainted.
5. Upper left hand door frame of bathroom door (kitchen side) should be sanded and re-painted for a proper finish.

6. Two of the wood shelves in the pantry have been installed upside down. These shelves have been marked with blue tape.
7. Grab bar escutcheon on shower wall across from the side of the toilet needs to be cleaned and reattached.

### **Unit 208**

1. Gypsum board finish and paint deficiencies were marked with blue tape.
2. Electrical panel cover should be clear of paint and dirt.
3. Upper left hand door frame of pantry should be sanded and re-painted for a proper finish.
4. Gypsum board compound is built-up just above vinyl base on bedroom wall below the light fixture.
5. The wood shelf in the bedroom closet has been installed upside down. This shelf have been marked with blue tape.
6. Gypsum board compound is built-up just above vinyl base in the bathroom between the shower and the built-in casework.
7. Vinyl base adjacent to the unit entry door at the inside corner is not uniform and the door frame in that location should receive paint touch-up.

### **Unit 209**

1. Gypsum board finish and paint deficiencies were marked with blue tape.
2. Lower wood shelf in the closet to the right of the unit entry door requires paint touch-up.
3. The right side of the wood frame of the closet doors to the left of the unity entry door should be sanded and repainted for proper finish. The wood shelf in this closet has been installed upside down.
4. Remove paint from horn strobe on the soffit of the living room.
5. The door to Bedroom 1 requires paint touch-up. This area has been identified with blue tape.
6. Upper corners of the door frame to the closet in Bedroom 1 need to be sanded and repainted for a proper finish.
7. The wood shelf in the closet of Bedroom 1 has been installed upside down.
8. The wood lowest wood shelf in the hallway between the bathroom and Bedroom 2 has been installed upside down.
9. Upper corners of the door frame to the closet in Bedroom 2 need to be sanded and repainted for a proper finish.
10. The wood shelf in the closet of Bedroom 2 has been installed upside down.

### **Unit 210**

1. Gypsum board finish and paint deficiencies were marked with blue tape.
2. Electrical panel cover should be clear of dirt.
3. Upper right hand door frame of the bathroom door (kitchen side) should be sanded and re-painted for a proper finish.
4. The middle wood shelf in the pantry has been installed upside down.
5. The wood shelf in the bedroom closet has been installed upside down.

### **Unit 211**

1. Gypsum board finish and paint deficiencies were marked with blue tape.
2. Mitered corner of unit entry door frame requires caulking & paint.
3. The right side of the door frame leading to Bedroom 1 requires sanding, caulking, and paint for a proper finish.
4. The wood shelf in the closet of Bedroom 1 has been installed upside down.

5. The upper left-hand side of the door frame for the closet in Bedroom 1 requires sanding and repainting for a proper finish.
6. The wood shelf in the closet of Bedroom 2 has been installed upside down.
7. Paint was observed on the carpet in the closet of Bedroom 2.

#### **Unit 212**

1. Gypsum board finish and paint deficiencies were marked with blue tape.
2. There are signs of damage at the deadbolt of unity entry door.
3. Back splash at the kitchen countertop requires caulk touch-up.
4. The left-hand side of the wood frame at the panty requires sanding and repainting for a proper finish.
5. The upper left-hand corner of the wood frame at the bathroom door (kitchen side) requires sanding and repainting for a proper finish.
6. The upper right-hand and left-hand corners of the wood frame at the bathroom door (bathroom side) requires sanding and repainting for a proper finish.
7. Gypsum board compound is built-up just above vinyl base on the wall to the left of the bathroom door (bathroom side).
8. Some caulking & paint touch-up should be performed at the strike side of the wood door frame leading to the bathroom.
9. The wood shelf in the bedroom closet is installed upside down.

#### **Unit 214**

1. Gypsum board finish and paint deficiencies were marked with blue tape.
2. Gypsum board compound is built-up just above vinyl base on the wing wall separating the entry door from the kitchen.
3. Some sanding & repainting is required where the wall meets the ceiling above the closet opening in the bedroom.
4. The wood shelf in the bedroom closet is installed upside down.
5. The left side of the wood frame at the pantry requires sanding and repainting for a proper finish.
6. Paint drip was identified on the middle shelf of the pantry.
7. Left and right-hand sides of the wood frame at the bathroom door (bathroom side) require caulking & repainting for a proper finish.
8. Lockset handle is not secured at unit entry door (unit side).
9. There are signs of delamination of the wood veneer at the unity entry door.
10. The wood veneer has been damage on the hinge side (exposed to corridor).
11. The wood frame a the pantry closet requires wood filler, sanding, and repainting on the left and right-hand sides.



Erik L. Jorgensen, NCARB





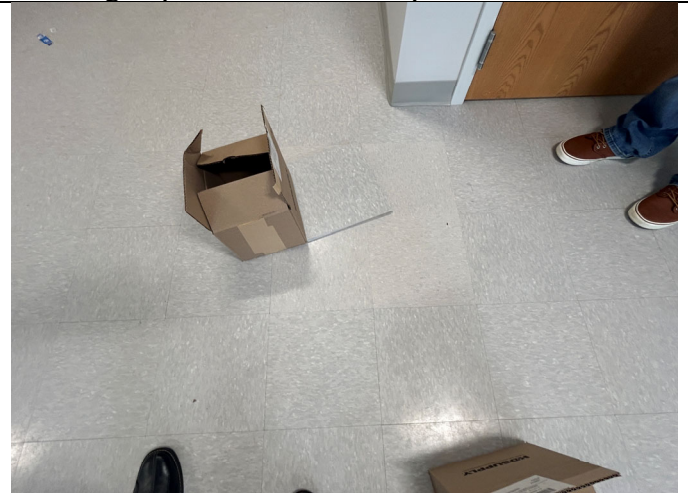
Infill T-grid not the same color as painted grid in Common Space 208.



Gap at existing ceiling wall angle requiring caulking & paint in Common Space 208.



North wall of Common Space 208 with gypsum board finish deficiencies identified w/ blue tape.



Vinyl floor tiles in Common Space 208 to be replaced with matching tiles.



South stairwell door with gypsum board finish deficiencies identified w/ blue tape.



Gypsum board finish touch-up and paint required in south corridor above stairwell door.





Paint drip & heavy brush strokes visible above jan closet door in corridor.



Wall paint visible on handrail brackets in corridor.



Gypsum board finish deficiencies identified w/ blue tape in corridor between Doors A-207 & A-208.



Paint to be removed from wood trim at a typical unit entry door in corridor.

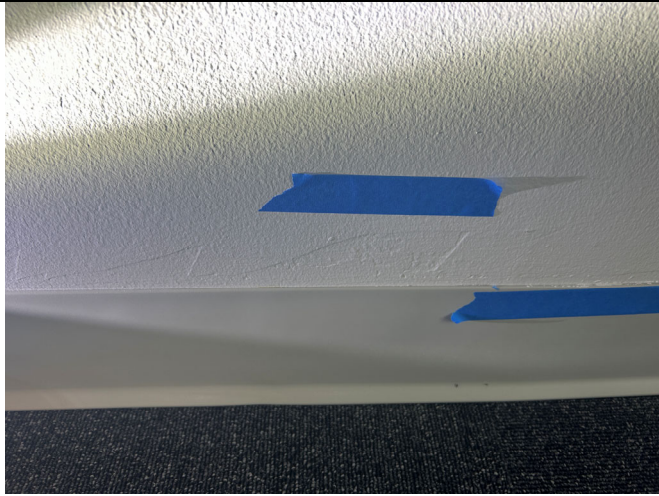


Gypsum board finish touch-up and paint required in north corridor above stairwell door.



Gypsum board finish touch-up and paint required adjacent to unity entry door at Unit 201.





Deficient gypsum board finish above base in Unit 214.



Visible side of wood shelf in bedroom closet at Unit 214.



Deficient gypsum board finish at shower head in Unit 214.



Lockset door handle in Unit 214 to be secured.



Damaged wood veneer to unit entry door at Unit 214.

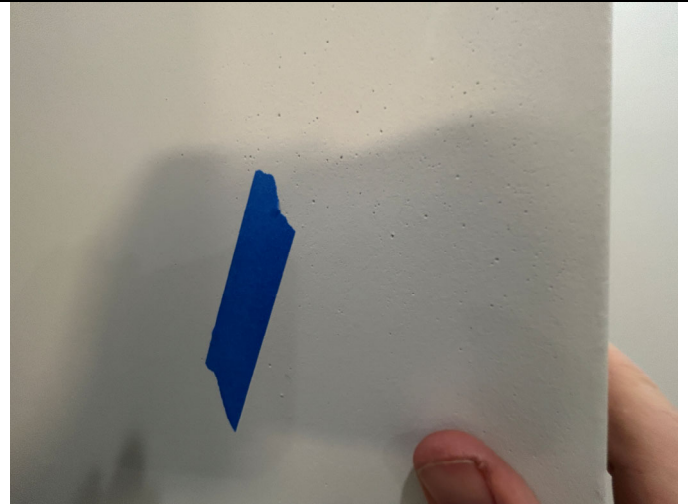


Paint on window frame in Unit 212. This is a typical condition.





Paint on carpet in Bedroom 2 closet in Unit 211.



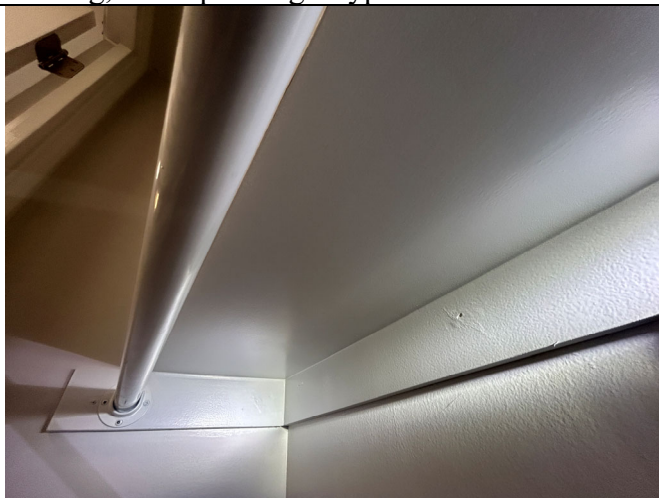
Multiple pock marks in drywall finish in Unit 210. This has occurred in multiple units and locations.



Wood door frame requiring additional wood filler, sanding, and repainting. Typical in various units.



Wood shelf installed upside down in closet of Unit 209. Typical in multiple units.



Finish side of bedroom closet in Unit 209 noted above as viewed from the underside.



Condition at existing wall in Unit 207 that has not been finished to "like new" condition.