

GENERAL PLAN NOTES

- ALL CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE CONTRACTORS MUST NOTIFY THE OWNER OF ANY VARIATIONS FROM THE DIMENSIONS AND DETAILS SHOWN ON THE PLANS.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESS, AND FOR TECHNIQUES OF ASSEMBLY.
- ALL CONTRACTORS SHALL VISIT THE SITE OF THE PROPOSED WORK AND FULLY ACQUAINT THEMSELVES WITH CONDITIONS AS THEY CURRENTLY EXIST SO THAT THEY MAY FULLY UNDERSTAND THE FACILITIES, DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK. ACCESS TO THE SPACE SHALL BE COORDINATED WITH THE BUILDING OWNER.
- ALL CUTTING AND PATCHING SHALL BE PERFORMED BY EACH RESPECTIVE CONTRACTOR IN A NEAT AND WORKMANLIKE MANNER. ANY EXISTING FINISHED DISTURBED OR DAMAGED BY THE CONTRACTOR DURING THE COURSE OF WORK SHALL BE REPAIRED TO MATCH EXISTING.
- THE GENERAL CONTRACTOR SHALL CLEAN ALL INTERIOR GLASS SURFACES AND FLOOR SURFACES PRIOR TO OCCUPANCY OF THE SPACE BY THE TENANT. ALL TRASH, CONSTRUCTION DEBRIS, TOOLS, ETC. SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO OCCUPANCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL PUBLIC AREAS AND REMOVING ALL TRASH, CONSTRUCTION DEBRIS, TOOLS, ETC. UPON COMPLETION OF THE PROJECT.
- THE FIRE SUPPRESSION CONTRACTOR SHALL EXTEND THE EXISTING SPRINKLER SYSTEM TO ALL DWELLING UNITS AND VERIFY THE EXTENT OF THE EXISTING SYSTEM FOR REQUIRED NFPA DESIGN COMPLIANCE.
- THE MATERIAL HOIST CONTRACTOR SHALL REMOVE EXISTING WINDOW FRAMES, PANEL INSERTS, EXTERIOR DECORATIVE TRIM, AND HVAC UNITS AND SHALL PROVIDE AN OSHA APPROVED ACCESS PLATFORM TO EACH UNIT. THE MATERIAL HOIST CONTRACTOR SHALL PROVIDE A SECURE VESTIBULE AROUND EACH OPENING, LOCKABLE AND WEATHER TIGHT. THE MATERIAL HOIST CONTRACTOR SHALL REPLACE REMOVED WINDOWS, PANELS, TRIM, AND REPAIR OR REPLACE ANY OTHER MATERIALS OR FINISHES DAMAGED OR ALTERED AS A RESULT OF THIS WORK AT THE TIME OF COMPLETION.
- EACH RESPECTIVE CONTRACTOR SHALL PATCH & REPAIR ANY DAMAGED FLOOR, WALL, OR CEILING SURFACES; EXISTING OR AS A RESULT OF CONSTRUCTION. CONTRACTOR SHALL PREPARE ANY SUCH SURFACE TO ACCEPT FINISH AS SCHEDULED.
- PROVIDE 3-1/2" x 3-1/2" x 48" 5/8" CORNER GUARDS ON ALL OUTSIDE CORNERS OF PUBLIC CORRIDORS.
- ALL COMMON AREA DUCTS ARE TO BE CLEANED AS PART OF THE WORK.
- ALL CORRIDORS TO HAVE FLOOR FINISHES AND BASE REMOVED & SUBFLOOR PREPARED FOR NEW FINISHES PER FINISH SCHEDULE.
- ALL PENETRATIONS IN EXISTING FLOOR/CEILING ASSEMBLIES TO BE GROUTED SOLID TO MAINTAIN FIRE RATING. EXISTING OPENING IN FLOORS FOR HVAC PIPING TO BE FILLED FOR A 2 HOUR FIRE RATING EQ. TO UL DETAIL F-A-1064.

PLAN NOTES

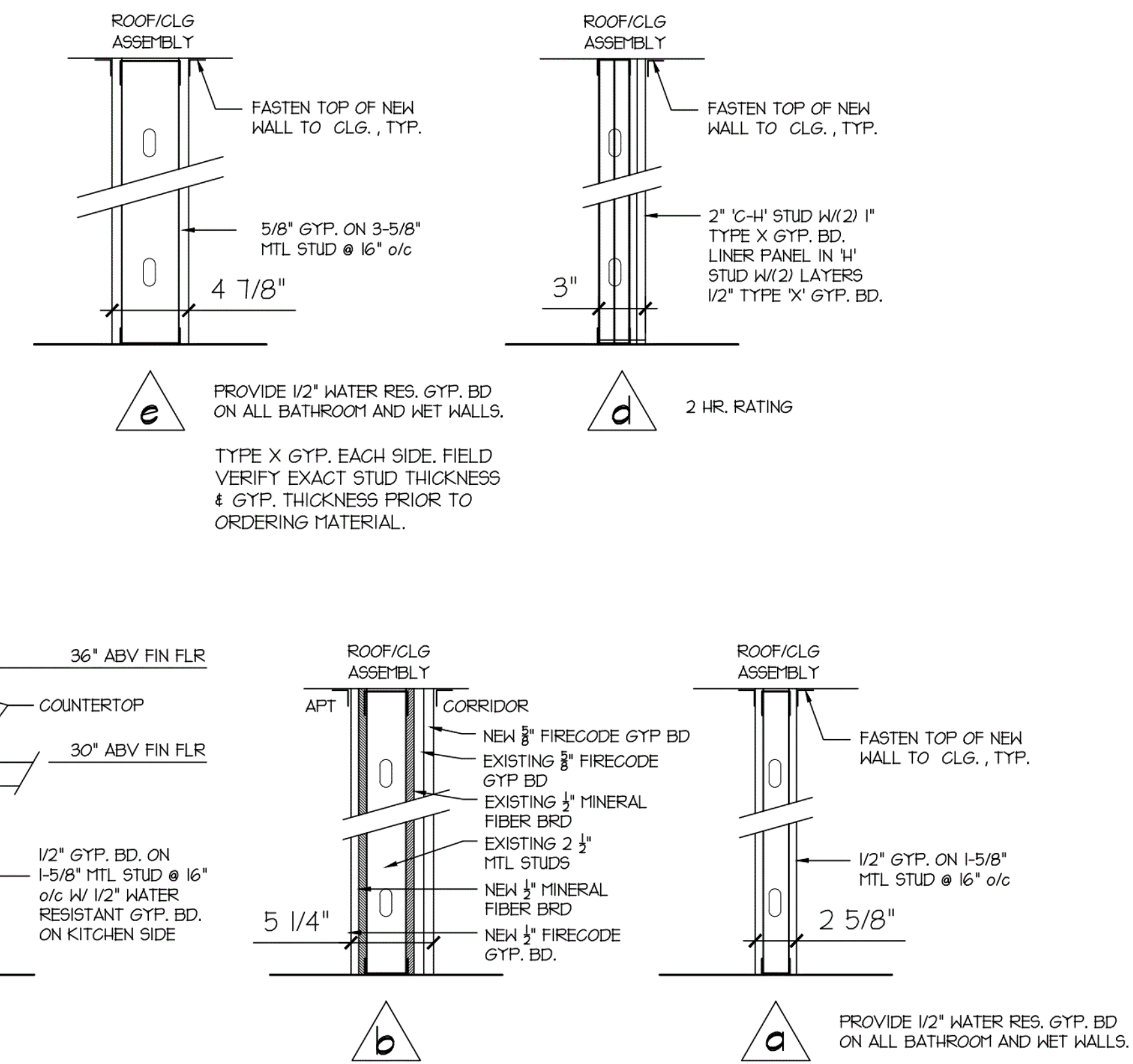
- 1 1/2" STL PAINTED HANDRAIL AT 2'-8" A.F.F. PROVIDE BLOCKING IN WALL FOR ATTACHMENT.
- 3-5/8" HEADER W/ 5/8" GYP BD EA. SIDE @ 1'-0" AFF.
- EXISTING MAILBOXES TO BE REMOVED FROM EXISTING WALL AND INSTALLED IN NEW WALL. RE: 4/A4.1.
- EXISTING PACKAGEBOXES TO BE REMOVED FROM EXISTING LOCATION AND INSTALLED IN NEW LOCATION.
- SKIM COAT WALL FINISH. INSTALL INPRO IPC RIGID VINYL SHEET (0.40 THICKNESS) WALL PROTECTION. INSTALL SO TOP OF PANEL IS 49" AFF. PROVIDE W/ MATCHING COLOR TRIM ACCESSORIES. PROVIDE INPRO (160BN SERIES- SURFACE MOUNT) CORNER GUARDS AT ALL OUTSIDE WALL CORNERS. CORNER GUARD TO START ABOVE VINYL WALL BASE AND TERMINATE AT 49" AFF.
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SMOKE DETECTION NOTES:

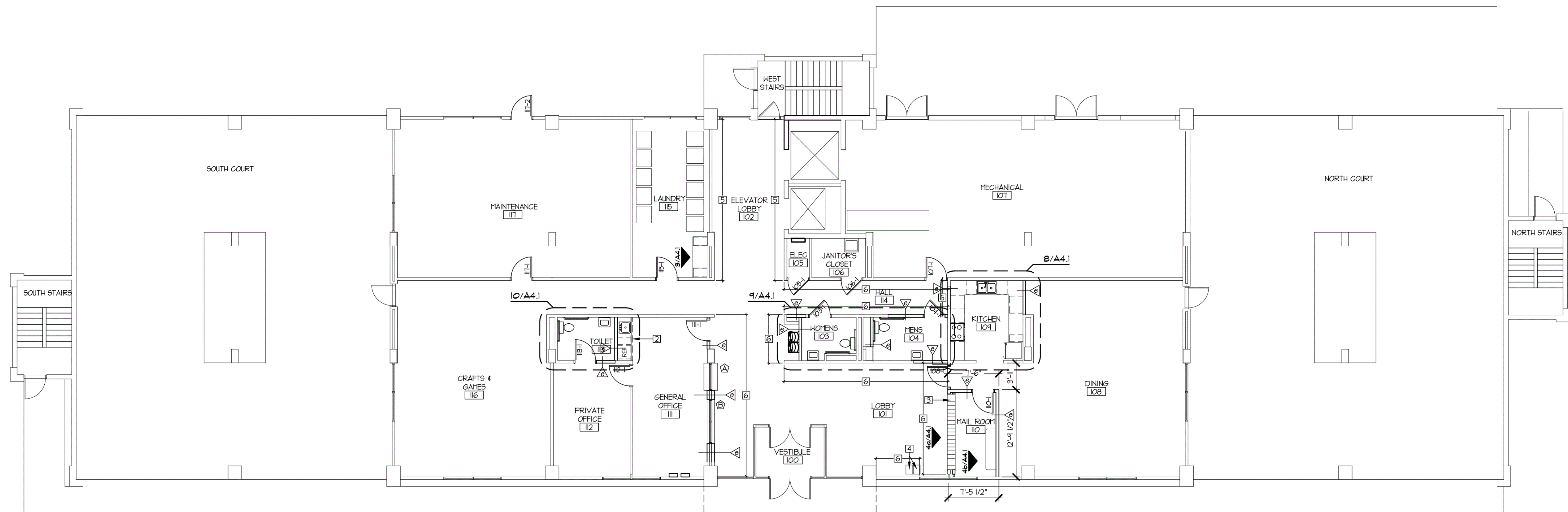
- AT ANY COMMON CORRIDOR OR COMMON ROOM LOCATION WHERE AN EXISTING DEVICE CONFLICTS W/ THE PLANNED DEMOLITION AND/OR NEW CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE WIRING TO NEW APPROVED LOCATION AT CEILING OR WALL AND SECURE THE REINSTALLATION AND PROPER OPERATION OF SAID DEVICE.

NOTE:
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NOTE:
PRIOR TO ANY CORE DRILLING OF THE FLOOR/CEILING SLAB THE CONTRACTOR MUST X-RAY THE SLAB FOR ANY INTERFERENCES AND REPORT TO THE ARCHITECT ITS FINDINGS.



WALL TYPES
SCALE: 1-1/2" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS



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DATE
FEBRUARY 25, 2022
SCALE
1/8" = 1'-0"
JOB NO.
18-017
SHEET



FLOOR PLANS

GENERAL PLAN NOTES

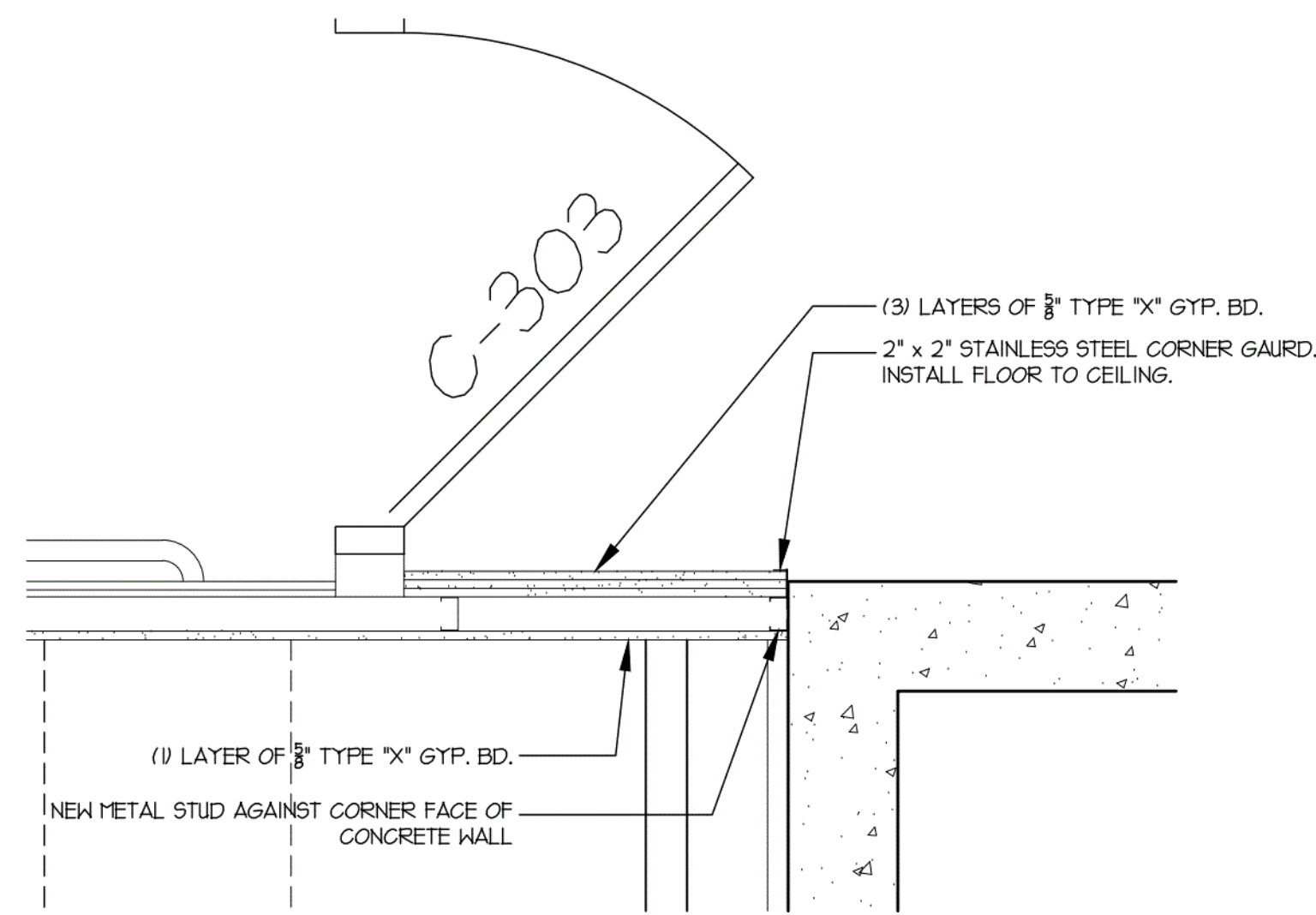
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PLAN NOTES

1. 1 1/2" STL PAINTED HANDRAIL AT 2'-8" A.F.F. PROVIDE BLOCKING IN WALL FOR ATTACHMENT.
2. SKIM COAT WALL FINISH. INSTALL INPRO IPC RIGID VINYL SHEET (0.40 THICKNESS) WALL PROTECTION. INSTALL SO TOP OF PANEL IS 49" AFF. PROVIDE W/ MATCHING COLOR TRIM ACCESSORIES. PROVIDE INPRO (160BN SERIES- SURFACE MOUNT) CORNER GUARDS AT ALL OUTSIDE WALL CORNERS. CORNER GUARD TO START ABOVE VINYL WALL BASE AND TERMINATE AT 49" AFF.
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SMOKE DETECTION NOTES:

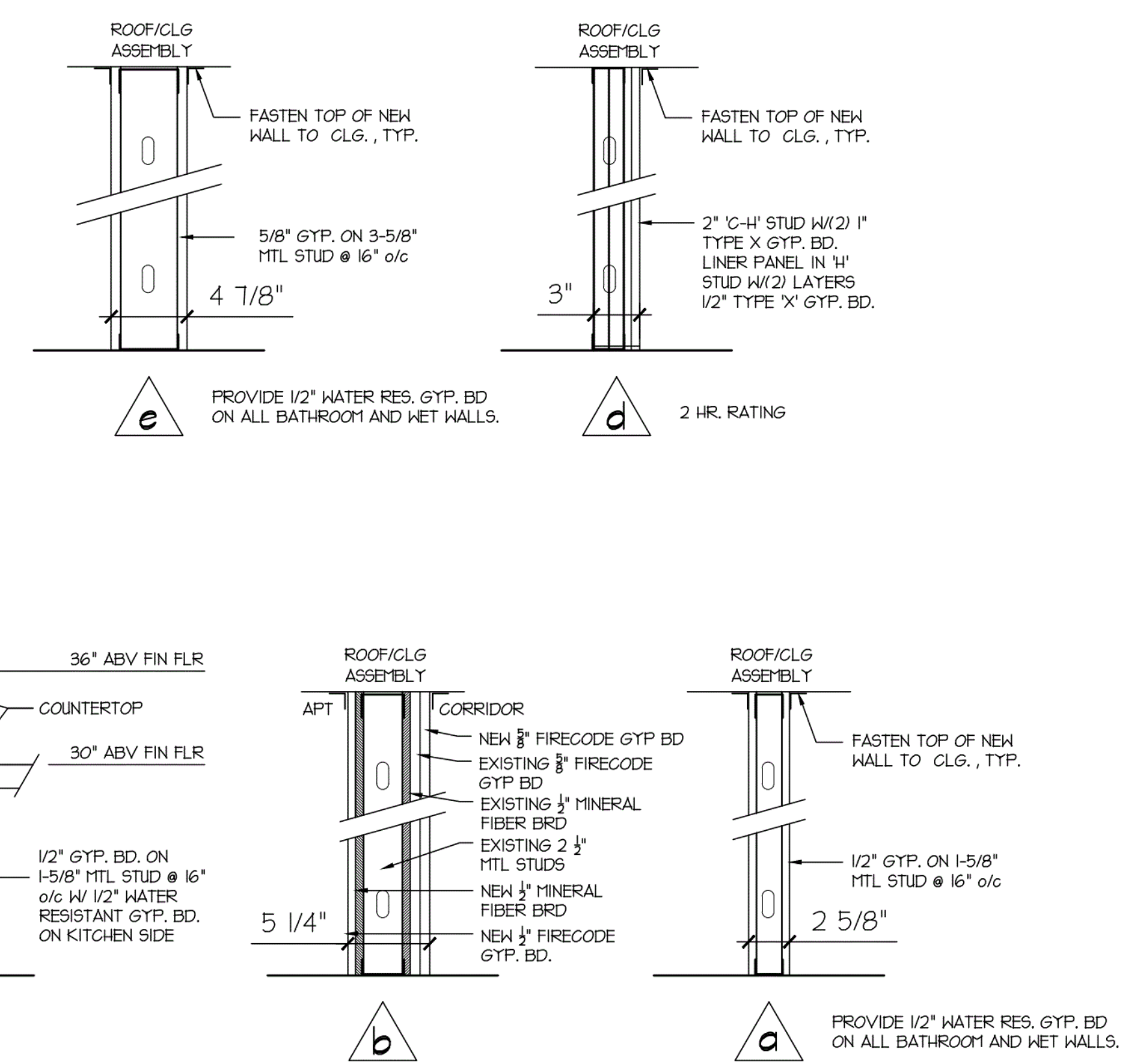
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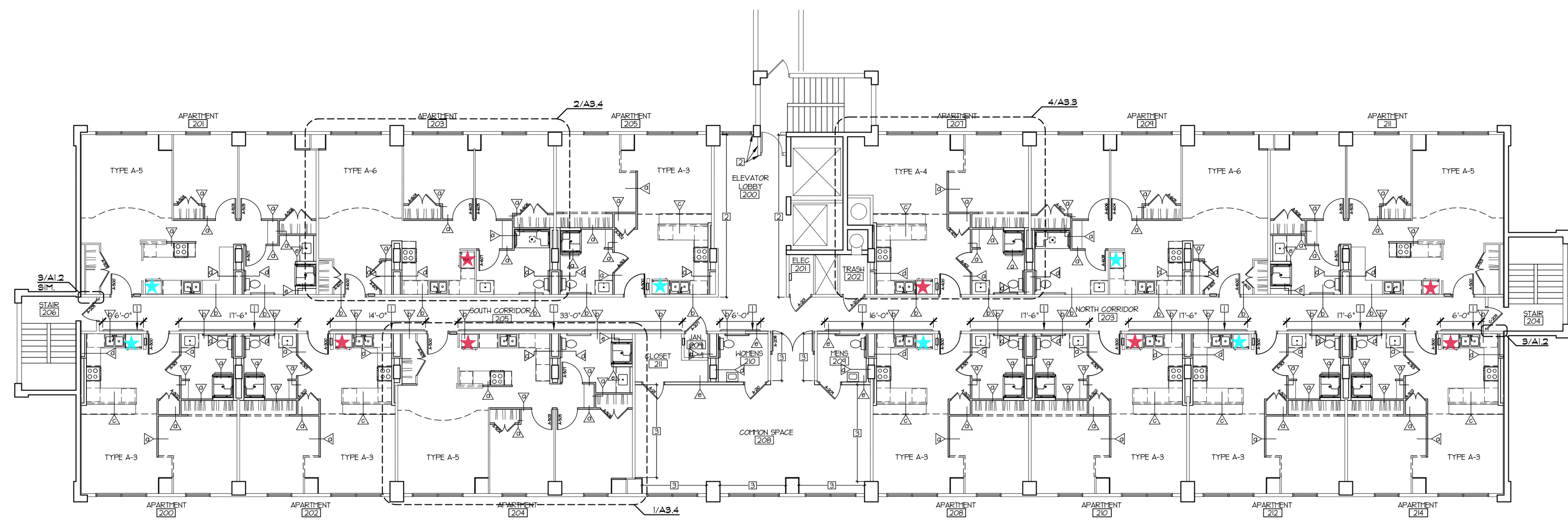
3 2HR FIRE ASSEMBLY REPAIR
SCALE: 1-1/2" = 1'-0"
REBUILD 2HR FIRE PARTITION ASSEMBLY EQ. TO UL421

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2 WALL TYPES
SCALE: 1-1/2" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



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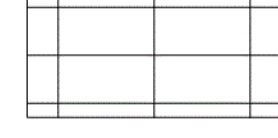
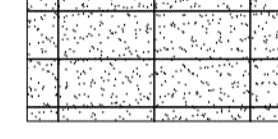
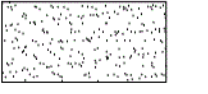




DATE: **FEBRUARY 25, 2022**
SCALE: **1/8" = 1'-0"**
JOB NO: **18-017**
SHEET

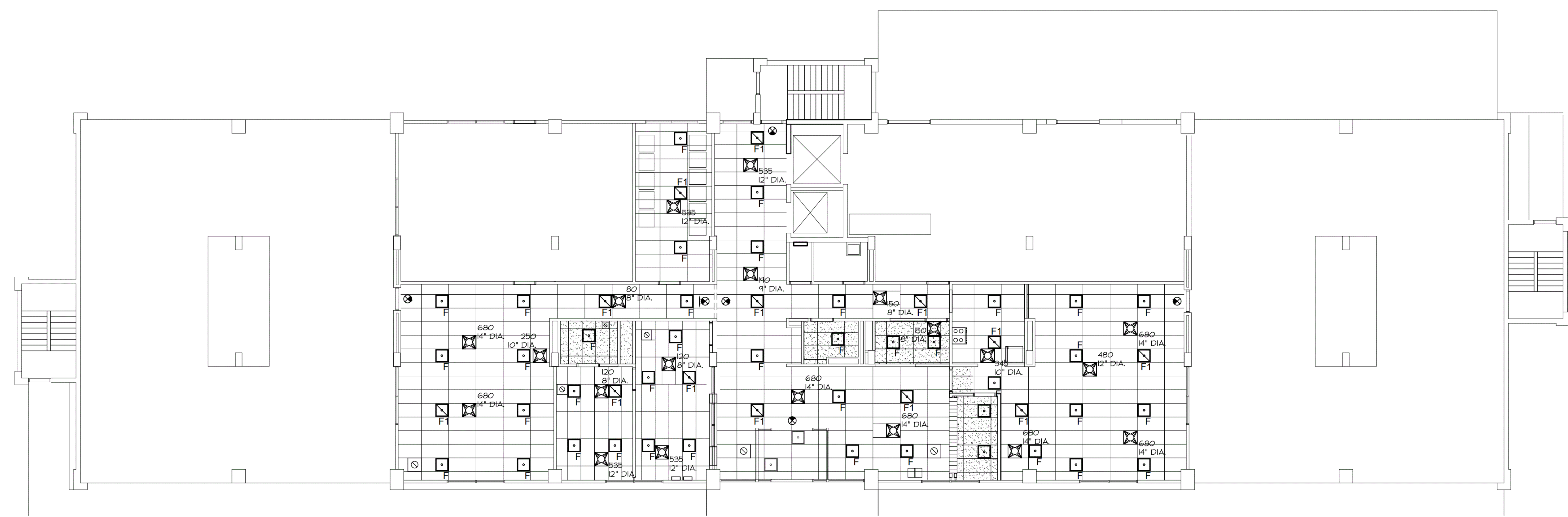
A1.2
FLOOR PLANS

REFLECTED CEILING GENERAL NOTES

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7. ALL DEVICES NOT SCHEDULED FOR DEMOLITION @ THE CEILINGS SHALL BE REMOVED & REINSTALLED WHETHER OR NOT SPECIFICALLY ILLUSTRATED ON THE PLAN & SHALL BE CONSIDERED PART OF THE SCOPE OF WORK. THE CONTRACTOR SHALL CONFIRM ALL QUESTIONABLE WORK WITH THE ARCHITECT, PRIOR TO COMMENCEMENT OF SUCH WORK. IT IS THE INTENT OF THE DRAWINGS TO PROTECT SUCH EXISTING DEVICES DURING THE COURSE OF CONSTRUCTION TO KEEP THEM FREE OF PAINT, DUST, DEBRIS, ETS.
8. THE CONTRACTOR SHALL PROTECT ANY DEVICES ABOVE THE CEILING FROM PAINT, DUST, DEBRIS, ETC. SUCH DEVICES MAY INCLUDE BUT ARE NOT LIMITED TO: CLEAN-OUTS, SHUT-OFF VALVES, ELECTRICAL J-BOXES, ETC.
9. 'E' DENOTES RELOCATED EXISTING DEVICE
10. RETAIN AND PROTECT ALL CEILING MOUNTED SECURITY CAMERAS DURING DEMOLITION AND CONSTRUCTION, LOCATED IN THE ELEVATOR LOBBY AND PUBLIC CORRIDORS.
11. SPRINKLER HEADS TO BE REMOVED WHEN INSTALLING CEILING GRID/TILES AND REINSTALLED TO BE FLUSH WITH NEW CEILING.

REFLECTED CEILING LEGEND

-  SUSPENDED CEILING GRID TO REMAIN. ADD NEW T'S WHERE REQUIRED AT NEW 2x2 LIGHT FIXTURES, PAINT EXISTING GRID WITH DRY WALL PAINT & PROVIDE NEW ACOUSTICAL TILE EQUAL TO ARMSTRONG CERAMA GUARD FINE FIGURED.
-  ALL LAY-IN CEILING IS TO BE REMOVED & REPLACED W/ NEW ARMSTRONG PRELUDE XL 8' GRID AND ACOUSTICAL TILE EQ. TO ARMSTRONG CERAMAGUARD FINE FIGURED. ADD NEW T'S WHERE REQUIRED AT NEW 2x2 LIGHT FIXTURES.
-  NEW GYP. BD SOFFIT AT 7'-3" RE; DETAIL 5/A6.2
-  2x2 LAY-IN LED LIGHT FIXTURE RE: FIXT. SCHED.
-  2x2 LAY-IN LED EMERGENCY LIGHT FIXTURE RE: FIXT. SCHED.
-  UNIVERSAL MOUNT LED EXIT LIGHT W/ 90 MIN. BATTERY. RE: FIXTURE SCHEDULE
-  NEW HVAC DEVICE, RE: MECH.



GROUND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



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18-017

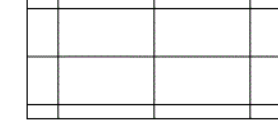

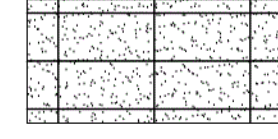

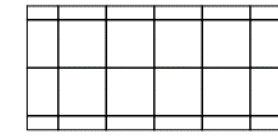

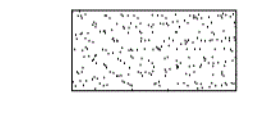

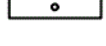



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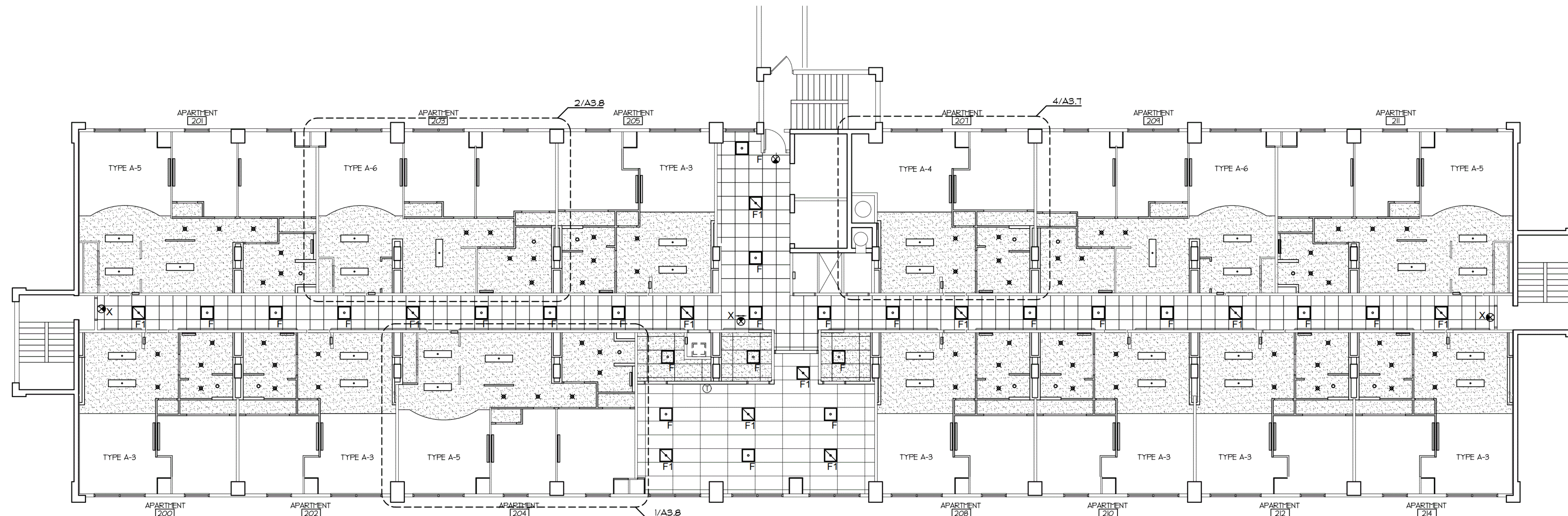
A2.1
REFLECTED
CEILING PLAN

REFLECTED CEILING GENERAL NOTES

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REFLECTED CEILING LEGEND

- | | | | |
|---|--|---|---|
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|  | ALL LAY-IN CEILING IS TO BE REMOVED & REPLACED W/ NEW ARMSTRONG PRELUDE XL 2'x2' GRID AND ACOUSTICAL TILE EQ. TO ARMSTRONG CERAMAGUARD FINE FISSURED. ADD NEW T'S WHERE REQUIRED AT NEW 2x2 LIGHT FIXTURES. |  | RECESSED LIGHT FIXTURE RE: FIXTURE SCHED. |
|  | ALL LAY-IN CEILING IS TO BE REMOVED & REPLACED W/ NEW ARMSTRONG PRELUDE XL 2'x2' GRID AND ACOUSTICAL TILE EQ. TO ARMSTRONG CERAMAGUARD FINE FISSURED. |  | RECESSED CAN LIGHT RE: FIXTURE SCHED |
|  | NEW GYP. BD SOFFIT AT 1'-3" RE: DETAIL 5/A6.2 |  | WALL MOUNTED LIGHT FIXTURE, RE: FIXTURE SCHED |
|  | 1x4 RECESSED LED LIGHT FIXTURE RE: FIXT. SCHED. |  | NEW T-STAT PROVIDED BY OWNER & INSTALLED BY G.C. |
|  | 2x2 LAY-IN LED LIGHT FIXTURE RE: FIXT. SCHED. | | |
|  | 2x2 LAY-IN LED EMERGENCY LIGHT FIXTURE RE: FIXT. SCHED. | | |



SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



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DATE: **FEBRUARY 25, 2022**
SCALE: **1/8" = 1'-0"**
JOB NO: **18-017**
SHEET

A2.2
REFLECTED
CEILING PLAN

ARCHITECTURAL GENERAL NOTES

1. PROVIDE BLOCKING IN ALL WALLS FOR ALL TOILET ACCESSORIES & WALL MOUNTED CABINETS.
2. IN ACCESSIBLE UNITS MOUNT ALL TOILET ACCESSORIES AT MFR RECOMMENDED HEIGHT FOR HANDICAP ACCESSIBILITY.
3. ALL DIMENSIONS ARE TO FACE OF FIN. WALL @ NEW CONSTRUCTION, OR CENTERLINE OF DOOR/WIN. OPENING TYPICAL FOR ALL PLANS.
4. THE HINGE SIDE OF ALL NEW DOORS SHALL BEGIN 3" FROM THE CORNER OF THE WALL U.N.O.
5. REMOVE EXISTING FLOOR FINISHES & FLOOR BASE. PREPARE SUBFLOOR TO RECEIVE NEW FINISHED MATERIAL, TYP. ALL CORRIDORS & DWELLING UNITS.
6. NEW REFRIGERATORS & STOVES TO BE PROVIDED AND INSTALLED BY OWNER.
7. ALL DWELLING UNIT KITCHENS & BATHROOMS ARE TO RECEIVE NEW GYP. BD. RE: WALL TYPES
8. REPAIR ANY EXISTING OR NEW DAMAGE TO THE TEXTURE ON THE CEILINGS WITH MAT. AND FINISH TO MATCH.
9. SOME PLAN NOTES ON THIS SHEET MAY NOT BE APPLICABLE. REFER TO OTHER PLANS FOR COMPLETE SCOPE OF WORK.

GENERAL NOTE:
ALL INTERIOR CASEWORK SHALL BE
HUD SEVERE DUTY CONSTRUCTED.

REVISIONS



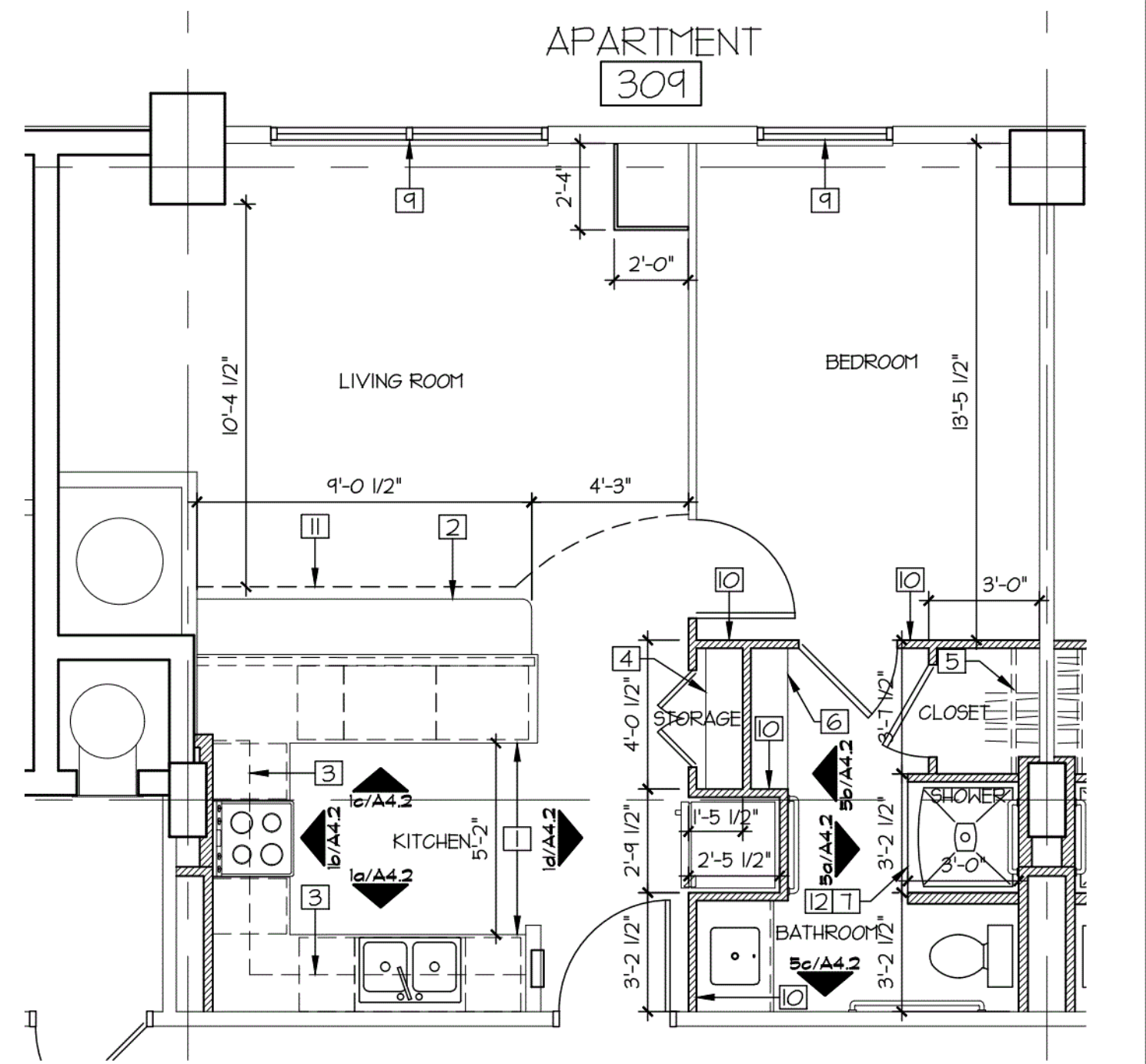
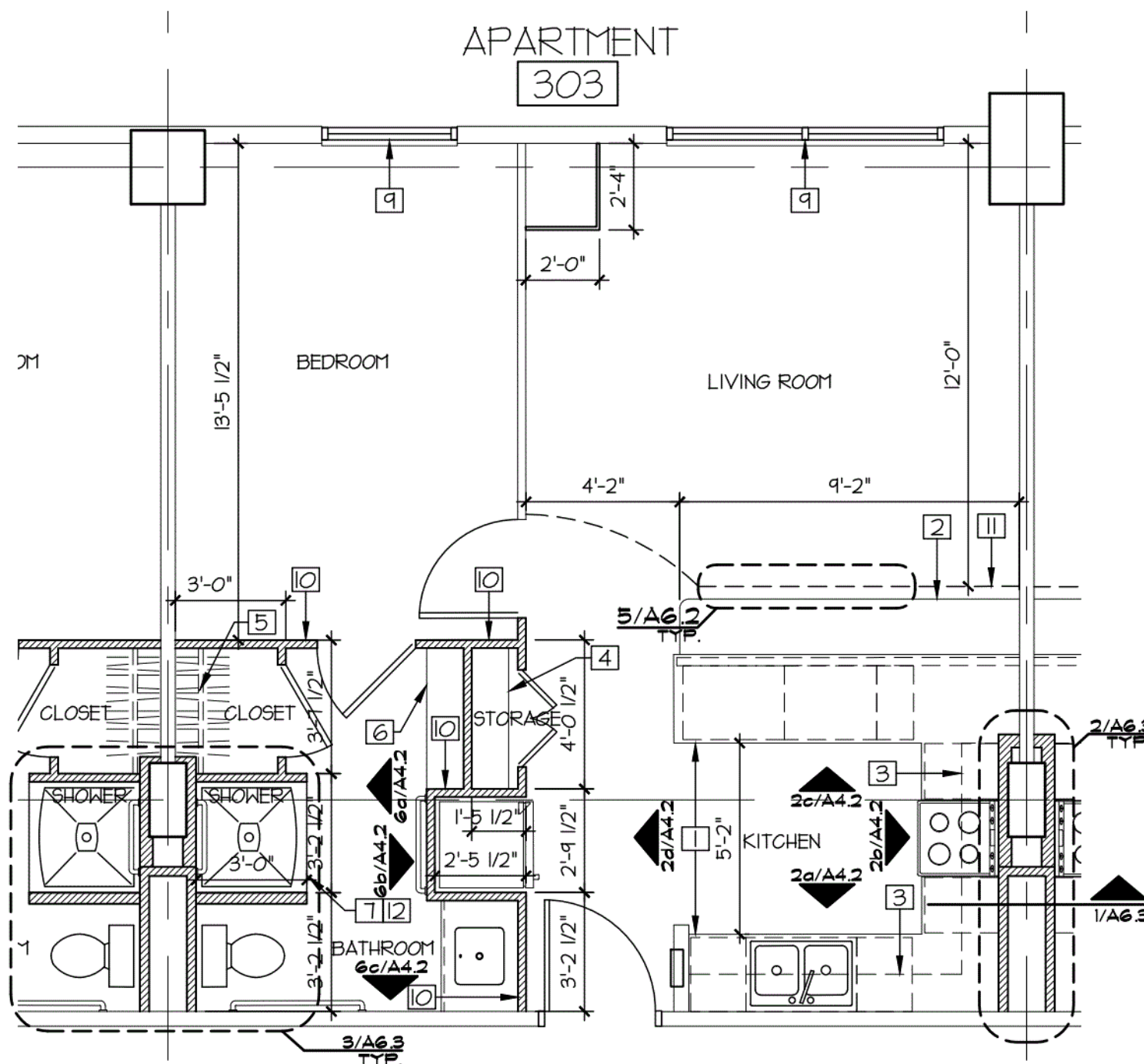
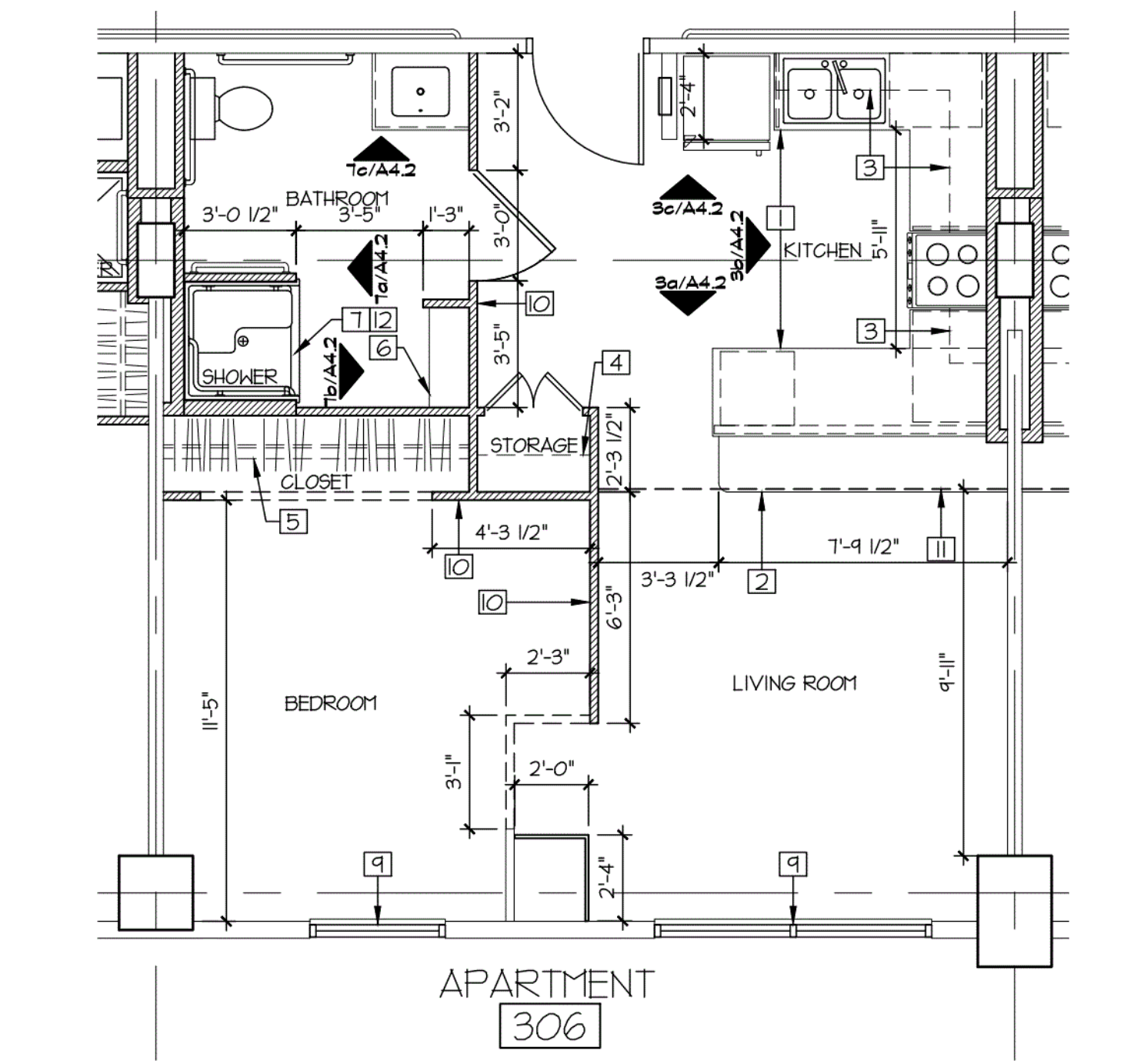
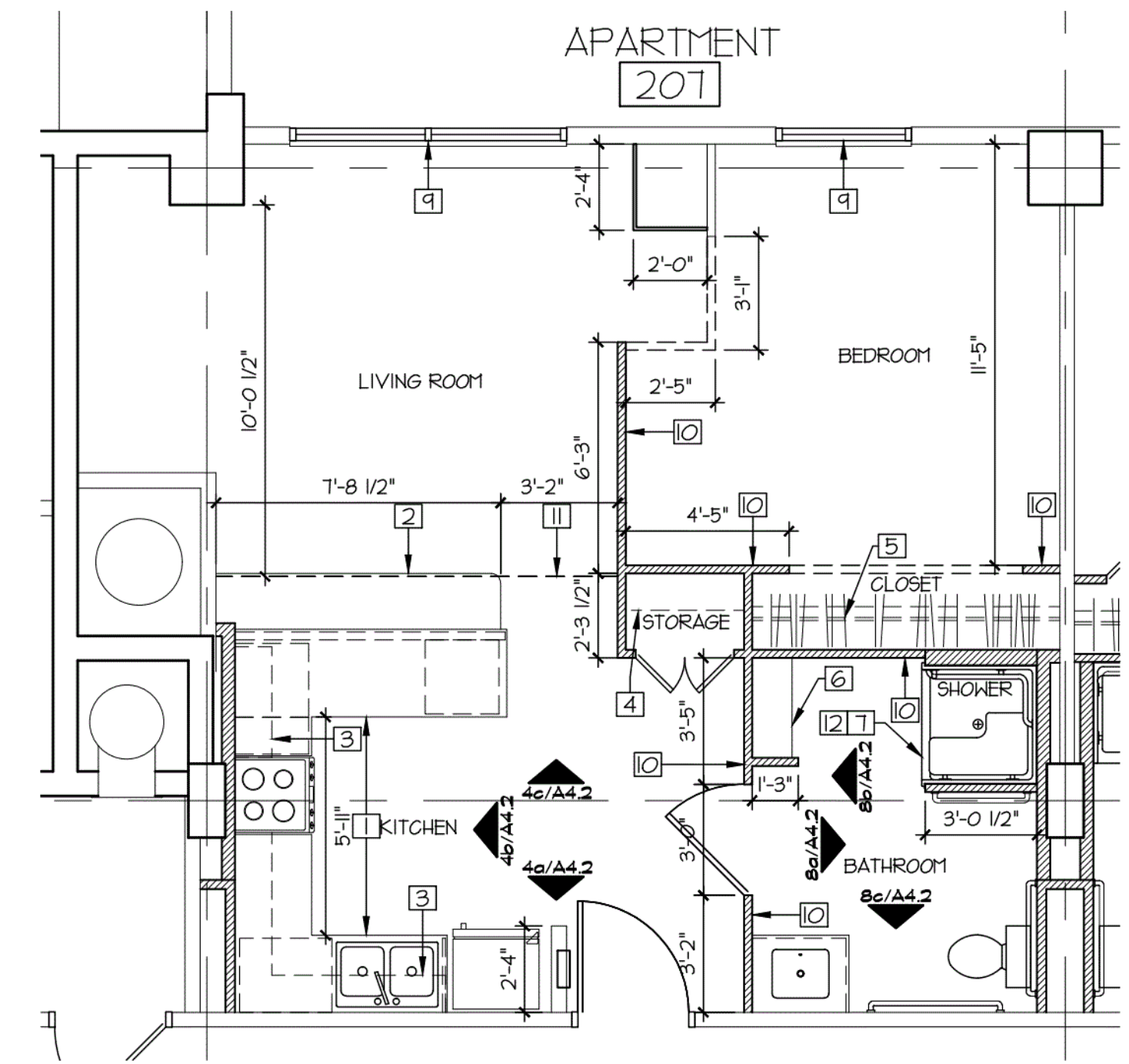
8010 State Line, Suite 150
Leawood, KS 66208
913.341.2356 p
913.642.2847 f
www.adgiaia.com

- ### UNIT A-4
- 1 NEW BASE CAB. & FLAM COUNTERTOP W/ 4" INTEGRAL BACKSPLASH, COLOR AS SELECTED BY ARCH.
 - 2 NEW P-LAM BAR TOP TO MATCH COUNTERTOP
 - 3 12" DEEP OVERHEAD CABINETS W/ ADJUSTABLE SHELVING, RE:INT. ELEV.
 - 4 12" DEEP MELAMINE SHELVING @ 24" o/c VERT. RE: CASEWORK DTLs.
 - 5 12" DEEP MELAMINE SHELF & HANGER ROD RE: CASEWORK DTLs.
 - 6 12" DEEP BASE CABINET W/ 12" SHELVES @ 18" o/c
 - 7 NEW SHOWER W/ 3 PIECE SURROUND. RE: PLUMBING FIXTURE SCHEDULE.
 - 8 NEW FRAMED GYP. BD. CEILING @ 7'-3".
 - 9 INSTALL BLINDS @ WINDOW W/ BALI 3-1/2" WIDE SLIGHTLY CURVED, FIRE RETARDANT VERT. BLINDS. APPX. 48" H x 48" W. FIELD VERIFY CONDITIONS & DIMENSIONS. HEADRAIL SHALL BE SATIN FIN. ANODIZED ALUM ALLOY W/ "ONE TOUCH" CONTROL INSTALLED INTO CLG. INSTALL 1/2" SOLID SURFACE SILL - CORIAN OR EQUAL. COLOR PER ARCHITECT.
 - 10 NEW 1-5/8" MTL. STUD WALL W/ 1/2" GYP BD. EA SIDE SHOWN THUS: [Hatched]
 - 11 SOFFIT TERMINATION @ 7'-3" A.F.F. RE:DETAILS
 - 12 EXTRA HEAVY DUTY SHOWER CURTAIN ROD PROVIDED BY OWNER & INSTALLED BY CONTRACTOR.

- ### UNIT A-3
- 1 NEW BASE CAB. & FLAM COUNTERTOP W/ 4" INTEGRAL BACKSPLASH, COLOR AS SELECTED BY ARCH.
 - 2 NEW P-LAM BAR TOP TO MATCH COUNTERTOP
 - 3 12" DEEP OVERHEAD CABINETS W/ ADJUSTABLE SHELVING, RE:INT. ELEV.
 - 4 12" DEEP MELAMINE SHELVING @ 24" o/c VERT. RE: CASEWORK DTLs.
 - 5 12" DEEP MELAMINE SHELF & HANGER ROD RE: CASEWORK DTLs.
 - 6 12" DEEP BASE CABINET W/ 12" SHELVES @ 18" o/c
 - 7 NEW SHOWER W/ 3 PIECE SURROUND. RE: PLUMBING FIXTURE SCHEDULE.
 - 8 NEW FRAMED GYP. BD. CEILING @ 7'-3".
 - 9 INSTALL BLINDS @ WINDOW W/ BALI 3-1/2" WIDE SLIGHTLY CURVED, FIRE RETARDANT VERT. BLINDS. APPX. 48" H x 48" W. FIELD VERIFY CONDITIONS & DIMENSIONS. HEADRAIL SHALL BE SATIN FIN. ANODIZED ALUM ALLOY W/ "ONE TOUCH" CONTROL INSTALLED INTO CLG. INSTALL 1/2" SOLID SURFACE SILL - CORIAN OR EQUAL. COLOR PER ARCHITECT.
 - 10 NEW 1-5/8" MTL. STUD WALL W/ 1/2" GYP BD. EA SIDE SHOWN THUS: [Hatched]
 - 11 SOFFIT TERMINATION @ 7'-3" A.F.F. RE:DETAILS
 - 12 EXTRA HEAVY DUTY SHOWER CURTAIN ROD PROVIDED BY OWNER & INSTALLED BY CONTRACTOR.

- ### UNIT A-2
- 1 NEW BASE CAB. & FLAM COUNTERTOP W/ 4" INTEGRAL BACKSPLASH, COLOR AS SELECTED BY ARCH.
 - 2 NEW P-LAM BAR TOP TO MATCH COUNTERTOP
 - 3 12" DEEP OVERHEAD CABINETS W/ ADJUSTABLE SHELVING, RE:INT. ELEV.
 - 4 12" DEEP MELAMINE SHELVING @ 24" o/c VERT. RE: CASEWORK DTLs.
 - 5 12" DEEP MELAMINE SHELF & HANGER ROD RE: CASEWORK DTLs.
 - 6 12" DEEP BASE CABINET W/ 12" SHELVES @ 18" o/c
 - 7 NEW SHOWER W/ 3 PIECE SURROUND. RE: PLUMBING FIXTURE SCHEDULE.
 - 8 NEW FRAMED GYP. BD. CEILING @ 7'-3".
 - 9 INSTALL BLINDS @ WINDOW W/ BALI 3-1/2" WIDE SLIGHTLY CURVED, FIRE RETARDANT VERT. BLINDS. APPX. 48" H x 48" W. FIELD VERIFY CONDITIONS & DIMENSIONS. HEADRAIL SHALL BE SATIN FIN. ANODIZED ALUM ALLOY W/ "ONE TOUCH" CONTROL INSTALLED INTO CLG. INSTALL 1/2" SOLID SURFACE SILL - CORIAN OR EQUAL. COLOR PER ARCHITECT.
 - 10 NEW 1-5/8" MTL. STUD WALL W/ 1/2" GYP BD. EA SIDE SHOWN THUS: [Hatched]
 - 11 SOFFIT TERMINATION @ 7'-3" A.F.F. RE:DETAILS
 - 12 EXTRA HEAVY DUTY SHOWER CURTAIN ROD PROVIDED BY OWNER & INSTALLED BY CONTRACTOR.

- ### UNIT A-1
- 1 NEW BASE CAB. & FLAM COUNTERTOP W/ 4" INTEGRAL BACKSPLASH, COLOR AS SELECTED BY ARCH.
 - 2 NEW P-LAM BAR TOP TO MATCH COUNTERTOP
 - 3 12" DEEP OVERHEAD CABINETS W/ ADJUSTABLE SHELVING, RE:INT. ELEV.
 - 4 12" DEEP MELAMINE SHELVING @ 24" o/c VERT. RE: CASEWORK DTLs.
 - 5 12" DEEP MELAMINE SHELF & HANGER ROD RE: CASEWORK DTLs.
 - 6 12" DEEP BASE CABINET W/ 12" SHELVES @ 18" o/c
 - 7 NEW SHOWER W/ 3 PIECE SURROUND. RE: PLUMBING FIXTURE SCHEDULE.
 - 8 NEW FRAMED GYP. BD. CEILING @ 7'-3".
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 - 10 NEW 1-5/8" MTL. STUD WALL W/ 1/2" GYP BD. EA SIDE SHOWN THUS: [Hatched]
 - 11 SOFFIT TERMINATION @ 7'-3" A.F.F. RE:DETAILS
 - 12 EXTRA HEAVY DUTY SHOWER CURTAIN ROD PROVIDED BY OWNER & INSTALLED BY CONTRACTOR.



4 TYP. UNIT 'A-4' FLOOR PLAN
SCALE: 1/4" = 1'-0"

3 TYP. UNIT 'A-3' FLOOR PLAN
SCALE: 1/4" = 1'-0"

2 TYP. UNIT 'A-2' FLOOR PLAN
SCALE: 1/4" = 1'-0"

1 TYP. UNIT 'A-1' FLOOR PLAN
SCALE: 1/4" = 1'-0"

INTERIOR MODERNIZATION - PHASE 3
PLAZA TOWER
1200 N 75TH PLACE
KANSAS CITY, KANSAS 66112

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DATE: FEBRUARY 25, 2022
 SCALE: 1/4" = 1'-0"
 JOB NO.: 18-017
 SHEET

A3.3
 TYPICAL UNIT ARCH PLANS

ARCHITECTURAL GENERAL NOTES

1. PROVIDE BLOCKING IN ALL WALLS FOR ALL TOILET ACCESSORIES & WALL MOUNTED CABINETS.
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9. SOME PLAN NOTES ON THIS SHEET MAY NOT BE APPLICABLE. REFER TO OTHER PLANS FOR COMPLETE SCOPE OF WORK.

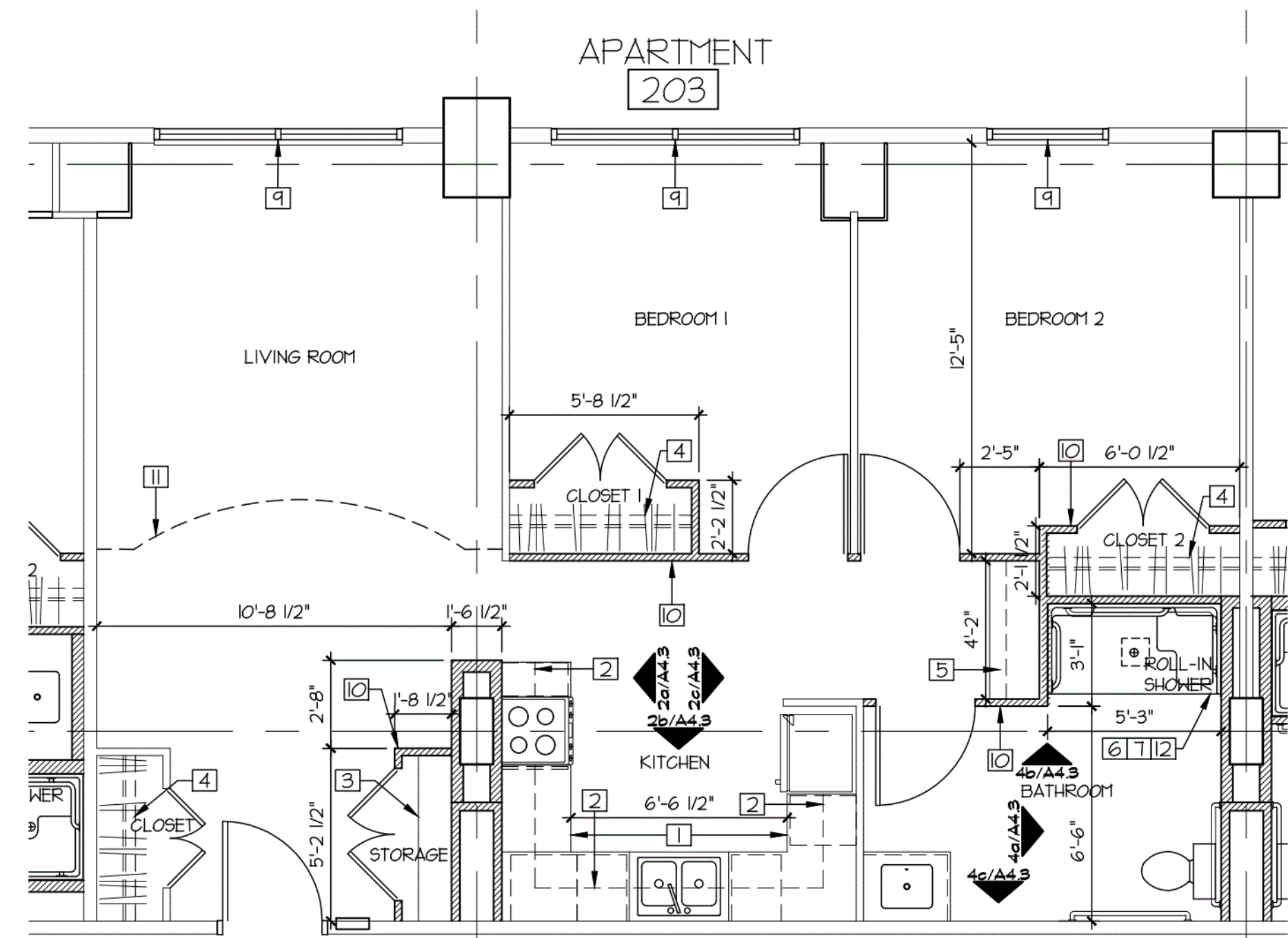
GENERAL NOTE:
ALL INTERIOR CASEWORK SHALL BE
HUD SEVERE DUTY CONSTRUCTED.

UNIT A-5

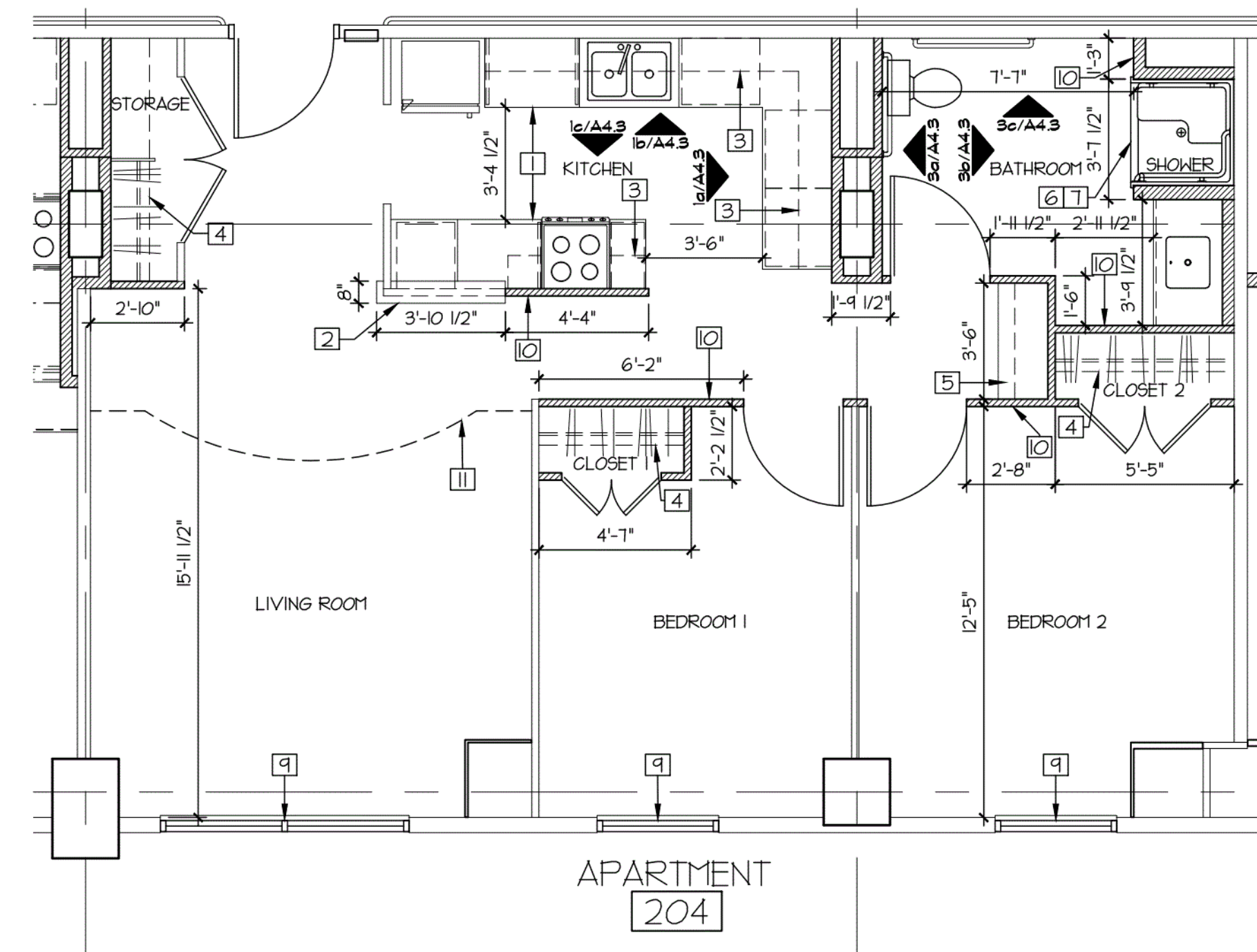
- 1 NEW BASE CAB. & PLAM COUNTERTOP W/ 4" INTEGRAL BACKSPLASH, COLOR AS SELECTED BY ARCH.
- 2 12" DEEP OVERHEAD CABINETS W/ ADJUSTABLE SHELVING, RE:INT. ELEV.
- 3 12" DEEP MELAMINE SHELVING @ 24" o/c VERT. RE: CASEWORK DTLS.
- 4 12" DEEP MELAMINE SHELF & HANGER ROD RE: CASEWORK DTLS.
- 5 12" DEEP BASE CABINET W/ 12" SHELVES @ 18" o/c
- 6 EXTRA HEAVY DUTY SHOWER CURTAIN ROD PROVIDED BY OWNER & INSTALLED BY CONTRACTOR.
- 7 NEW ROLL IN SHOWER W/ 3 PIECE SURROUND, RE: PLUMBING FIXTURE SCHEDULE.
- 8 NEW FRAMED GYP. BD. CEILING @ 1'-3".
- 9 INSTALL BLINDS @ WINDOW W/ BALI 3-1/2" WIDE SLIGHTLY CURVED, FIRE RETARDANT VERT. BLINDS. APPX. 48" H x 48" W. FIELD VERIFY CONDITIONS & DIMENSIONS. HEADRAIL SHALL BE SATIN FIN. ANODIZED ALUM ALLOY W/ "ONE TOUCH" CONTROL INSTALLED INTO CLG. INSTALL 1/2" SOLID SURFACE SILL - CORIAN OR EQUAL. COLOR PER ARCHITECT.
- 10 NEW 1-5/8" MTL. STUD WALL W/ 1/2" GYP BD. EA SIDE SHOWN THUS: [Hatched Pattern]
- 11 SOFFIT TERMINATION @ 1'-3" A.F.F. RE:DETAILS
- 12 CONCRETE FLOOR LINE AT ROLL-IN SHOWER TO BE 1/4" LOWER THAN TYP. TO ALLOW 3/8" DRAINAGE SLOPE, WITH A DRAIN CORE 6" MIN. PLUS 1/2" DEEP x 10" DIA. RECESS. SURROUNDING DRAIN.

UNIT A-5

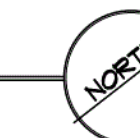
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- 10 NEW 1-5/8" MTL. STUD WALL W/ 1/2" GYP BD. EA SIDE SHOWN THUS: [Hatched Pattern]
- 11 SOFFIT TERMINATION @ 1'-3" A.F.F. RE:DETAILS



2 TYP. UNIT 'A-6'
SCALE: 1/4" = 1'-0"



1 TYP. UNIT 'A-5'
SCALE: 1/4" = 1'-0"



REVISIONS

NO.	DATE	DESCRIPTION



8010 State Line, Suite 150
Leawood, KS 66208
913.341.2356 p
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www.adgiaia.com

INTERIOR MODERNIZATION - PHASE 3
PLAZA TOWER
1200 N 75TH PLACE
KANSAS CITY, KANSAS 66112

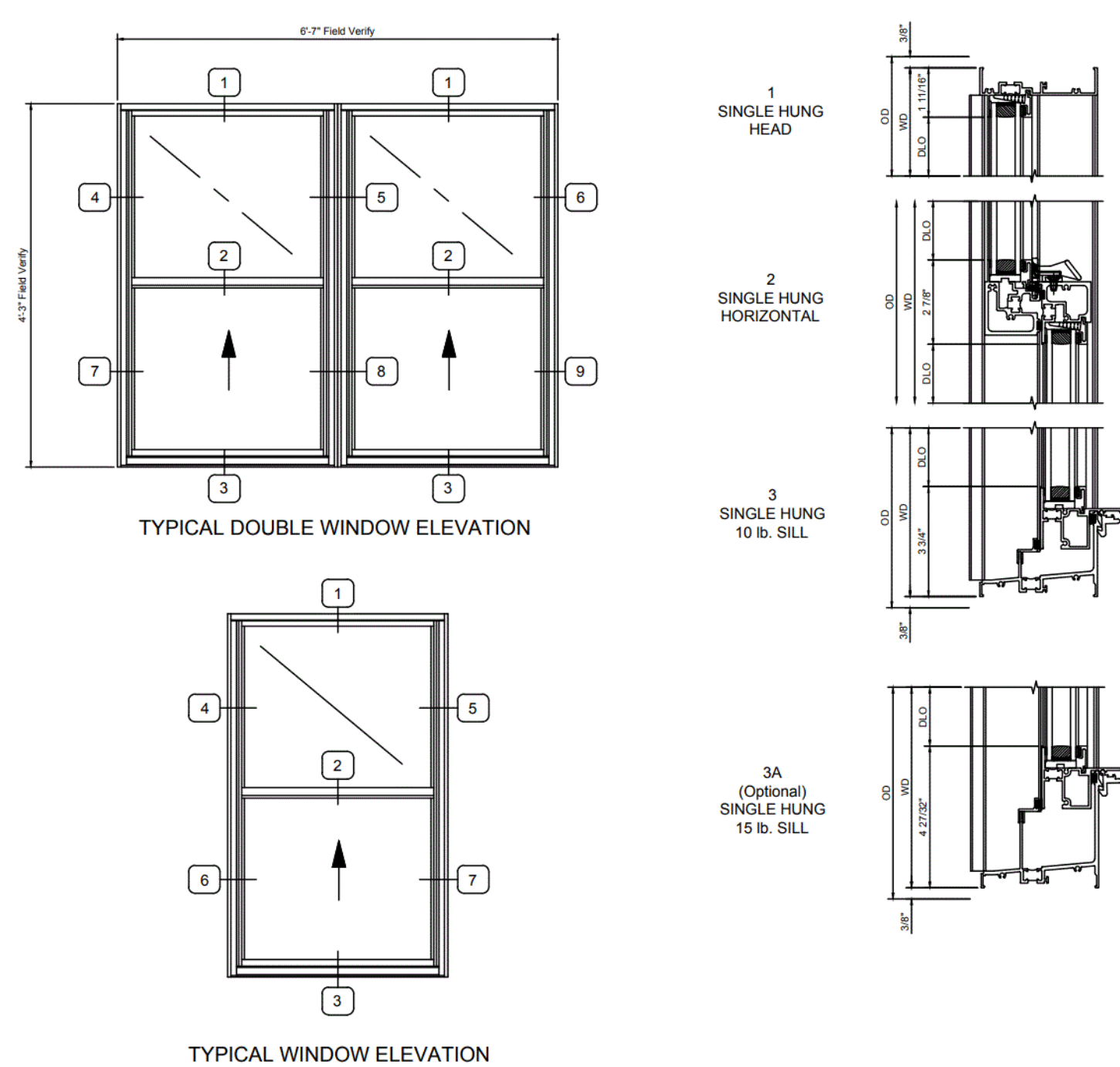
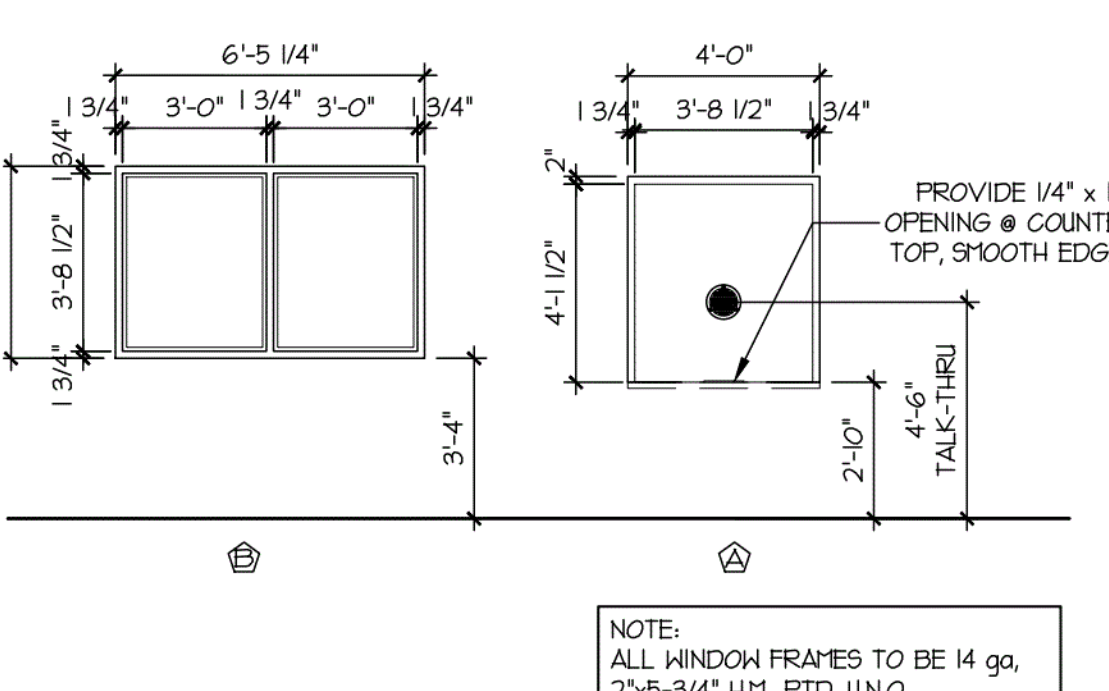
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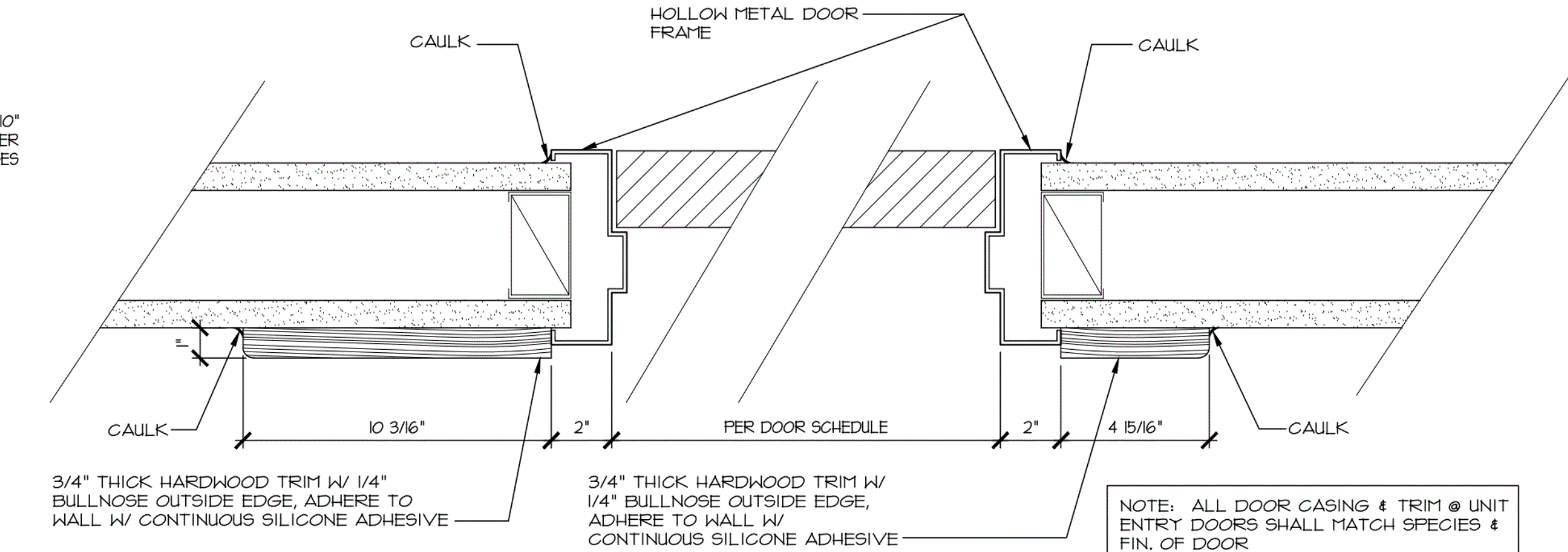
A3.4
TYPICAL UNIT
ARCH PLANS

DOOR SCHEDULE																	
NO.	ROOM	FROM	TO	U.L. ASSEMBLY	FRAME				DOOR				REMARKS				
					TYPE	MTRL.	GA.	FIN.	W.	H.	TYPE	MTRL.		GA.	FIN.	THK.	HDWR
103-1	WOMENS	C-103	C-114	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/8"	2	
104-1	MENS	C-104	C-114	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/8"	2	
105-1	ELECTRICAL	C-105	C-114	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	5	
106-1	JANITORS CLOSET	C-106	C-114	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	5	
107-1	MECHANICAL	C-107	C-114	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	5	
108-1	DINING	C-108	C-101	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	3	SC	---	ST	1 3/4"	3	
10-1	MAIL ROOM	C-110	C-108	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	5	
111-1	GENERAL OFFICE	C-111	C-101	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	3	SC	---	ST	1 3/4"	3	
112-1	PRIVATE OFFICE	C-112	C-111	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	3	
113-1	TOILET	C-113	C-112	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	2	
115-1	LAUNDRY	C-115	C-116	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	3	SC	---	ST	1 3/4"	3	
117-1	MAINTENANCE	C-117	C-116	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	5	
117-2	MAINTENANCE	C-117	EXIT	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	5	
GROUND																	
C-201	ELECTRICAL	C-201	CORRIDOR	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	5	
C-202	TRASH	C-202	CORRIDOR	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	3	
C-203	STAIR	C-203	CORRIDOR	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	3	SC	---	ST	1 3/4"	6	
C-205	STAIR	C-205	CORRIDOR	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	3	SC	---	ST	1 3/4"	6	
C-207	JANITORS	C-207	CORRIDOR	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	5	
C-208	COMMON SPACE	C-208	CORRIDOR	H-1/2 HR	B	H.H.	1/8	PT	6'-0"	6'-8"	3	SC	---	ST	1 3/4"	3	PAIR OF 36" DOORS
C-209	MENS	C-209	A-208	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	2	
C-210	WOMENS	C-210	A-208	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	2	
C-211	CLOSET	C-211	A-208	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	3	
3 CORR. 2 CORRIDOR																	
C-301	ELECTRICAL CLOSET	C-301	CORRIDOR	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	5	
C-302	TRASH CHUTE	C-302	CORRIDOR	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	2	SC	---	ST	1 3/4"	3	
C-303	STAIR	C-303	CORRIDOR	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	3	SC	---	ST	1 3/4"	6	
C-305	STAIR	C-305	CORRIDOR	H-1/2 HR	B	H.H.	1/8	PT	3'-0"	6'-8"	3	SC	---	ST	1 3/4"	6	
UNIT A-1																	
A-100	KITCHEN	A-100	CORRIDOR	1/3 HR	A	H.H.	1/8	PT	3'-0"	6'-8"	1	SC	---	ST	1 3/4"	1	
A-101	STORAGE	A-101	A-100	---	C	HD	---	PT	2'-8"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 16" DOORS
A-103	BEDROOM	A-103	A-100	---	C	HD	---	PT	2'-8"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
A-104	BATHROOM	A-104	A-103	---	C	HD	---	PT	2'-8"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
A-105	CLOSET	A-105	A-104	---	C	HD	---	PT	2'-6"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 16" DOORS
UNIT A-2																	
A-200	KITCHEN	A-200	CORRIDOR	1/3 HR	A	H.H.	1/8	PT	3'-0"	6'-8"	1	SC	---	ST	1 3/4"	1	
A-201	STORAGE	A-201	A-200	---	C	HD	---	PT	2'-8"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 16" DOORS
A-203	BEDROOM	A-203	A-200	---	C	HD	---	PT	2'-8"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
A-204	BATHROOM	A-204	A-203	---	C	HD	---	PT	2'-8"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
A-205	CLOSET	A-205	A-204	---	C	HD	---	PT	2'-6"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 15" DOORS
UNIT A-3																	
A-300	KITCHEN	A-300	CORRIDOR	1/3 HR	A	H.H.	1/8	PT	3'-0"	6'-8"	1	SC	---	ST	1 3/4"	1	
A-301	BATHROOM	A-301	A-300	---	C	HD	---	PT	2'-8"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
A-302	STORAGE	A-302	A-300	---	C	HD	---	PT	2'-8"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 16" DOORS
UNIT A-4																	
A-400	KITCHEN	A-400	CORRIDOR	1/3 HR	A	H.H.	1/8	PT	3'-0"	6'-8"	1	SC	---	ST	1 3/4"	1	
A-401	BATHROOM	A-401	A-400	---	C	HD	---	PT	3'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
A-402	STORAGE	A-402	A-400	---	C	HD	---	PT	2'-8"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 16" DOORS
UNIT A-5																	
A-500	KITCHEN	A-500	CORRIDOR	1/3 HR	A	H.H.	1/8	PT	3'-0"	6'-8"	1	SC	---	ST	1 3/4"	1	
A-501	STORAGE	A-501	A-500	---	C	HD	---	PT	5'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 30" DOORS
A-503	BEDROOM 1	A-503	A-500	---	C	HD	---	PT	3'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
A-504	CLOSET 1	A-504	A-503	---	C	HD	---	PT	3'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 18" DOORS
A-505	BEDROOM 2	A-505	A-500	---	C	HD	---	PT	3'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
A-506	CLOSET 2	A-506	A-505	---	C	HD	---	PT	4'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 24" DOORS
A-507	BATHROOM	A-507	A-500	---	C	HD	---	PT	3'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
UNIT A-6																	
A-600	LIVING	A-600	CORRIDOR	1/3 HR	A	H.H.	1/8	PT	3'-0"	6'-8"	1	SC	---	ST	1 3/4"	1	
A-601	STORAGE	A-601	A-600	---	C	HD	---	PT	3'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 18" DOORS
A-602	CLOSET	A-602	A-600	---	C	HD	---	PT	4'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 24" DOORS
A-603	BEDROOM 1	A-603	A-600	---	C	HD	---	PT	3'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
A-604	CLOSET 1	A-604	A-603	---	C	HD	---	PT	4'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 24" DOORS
A-605	BEDROOM 2	A-605	A-600	---	C	HD	---	PT	3'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	
A-606	CLOSET 2	A-606	A-605	---	C	HD	---	PT	4'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	4	PAIR OF 24" DOORS
A-607	BATHROOM	A-607	A-600	---	C	HD	---	PT	3'-0"	6'-8"	4	MASONITE	---	PT	1 3/8"	2	



4 WINDOW REPLACEMENT DETAILS

NO SCALE



3 DOOR TRIM DETAIL

SCALE: 3" = 1'-0"

5 WINDOW DETAIL

SCALE: 3" = 1'-0"

- FIELD VERIFY ALL DOOR SIZES & HARDWARE PRIOR TO ORDERING.
- ALL DOOR HARDWARE SHALL BE PREFINISHED U.N.O. DO NOT PAINT DOOR HARDWARE.
- CORRIDOR DOORS ARE TYPICAL FOR FLOORS 4-6.
- ALL INTERIOR APT. DOORS TO BE MASONITE 6 PNL DOORS.

DOOR HARDWARE SCHEDULE

REFER TO SPECIFICATIONS FOR MANUFACTURERS

HARDWARE SET NO. 1 (UNIT ENTRY DOORS)	HARDWARE SET NO. 4 (CLOSET DOUBLE DOORS)
1/2 PR. BUTTS BB 1214-26D 4.5x4.5 SH	3 PR. BUTTS BB 1214-26D 3.5x3.5 SH
1 LOCK CL3820-BH1A 626	2 LOCK CL3820-BH1A 626
1 DEADLOCK DL3213-BH1A 626	4 SILENCERS 301D
1 CLOSER DC3200 ALUM.	2 ADJUSTABLE BALL CATCH (BALDWIN 0426) U526D
1 KICK PLATE 8" HT x 2" LESS THAN DOOR WIDTH x B3E x C5K	
1 THRESHOLD 896V x "DOOR WIDTH"	
1 SPOKE GASKET 5050B	
1 IVES DOOR VIEWER 648B3	

HARDWARE SET NO. 2 (BEDROOM/BATHROOM DOORS)	HARDWARE SET NO. 5 (UTILITY DOORS)
1/2 PR. BUTTS BB 1214-26D 3.5x3.5 SH	1/2 PR. BUTTS BB 1214-26D 4.5x4.5 SH
1 LOCK CL3820-BH1A 626	1 LOCK CL3820-BH1A 626
3 SILENCERS 301D	1 CLOSER DC3200 ALUM.
	1 KICK PLATE 8" HT x 2" LESS THAN DOOR WIDTH x B3E x C5K
	1 THRESHOLD 896V x "DOOR WIDTH"
	1 SPOKE GASKET 5050B

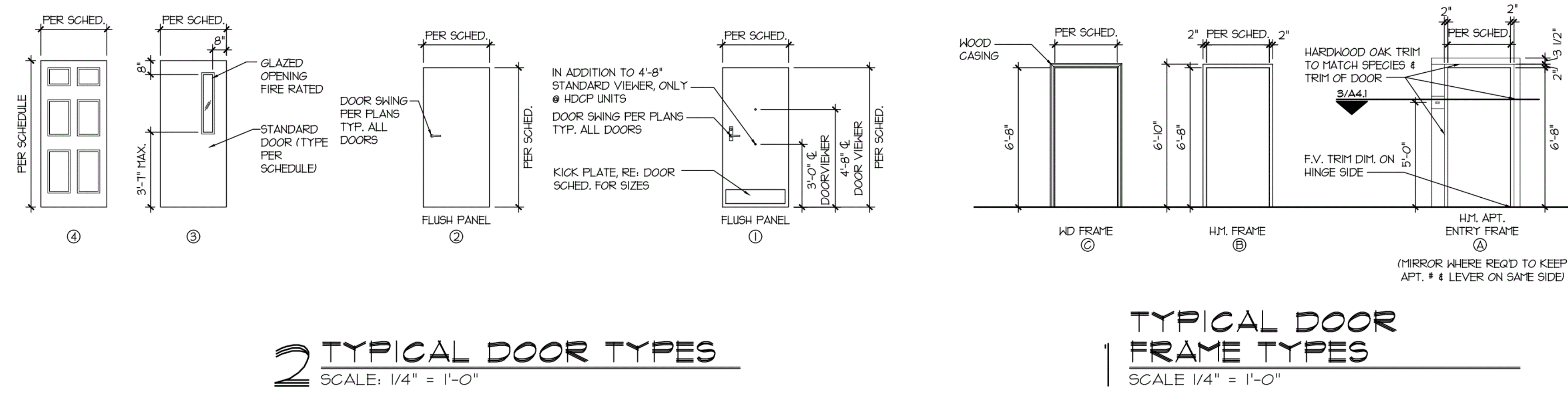
HARDWARE SET NO. 3 (CLOSET DOORS, TRASH ROOM, LAUNDRY DOOR)	HARDWARE SET NO. 6 (STAIR INT. DOORS)
1/2 PR. BUTTS BB 1214-26D 3.5x3.5 SH	1/2 PR. BUTTS BB 1214-26D 4.5x4.5 SH
1 LOCK CL3820-BH1A 626	1 CLOSER DC3200 ALUM.
3 SILENCERS 301D	1 HAGER KICK PLATE 8" x 2" LESS THAN DOOR WIDTH x B3E x C5K
	1 PUSHBAR EXIT DEVICE - CORBIN RUSSHIN ED8200A

KEY ALL LOCKS TO OWNER REQUIREMENTS

PROVIDE # INSTALL WALL OR DOOR STOPS @ EA DOOR

DOOR STOPS AGAINST WALLS - HAGER WALL STOP 2304 x 26D

FLOOR STOPS - HAGER FLOOR STOPS 241F x 26D



TYPICAL DOOR FRAME TYPES

SCALE 1/4" = 1'-0"

2 TYPICAL DOOR TYPES

SCALE: 1/4" = 1'-0"

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02.25.2022

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DATE: FEBRUARY 25, 2022
SCALE: 1/4" = 1'-0"
JOB NO.: 18-017
SHEET: A5.1
SCHEDULES

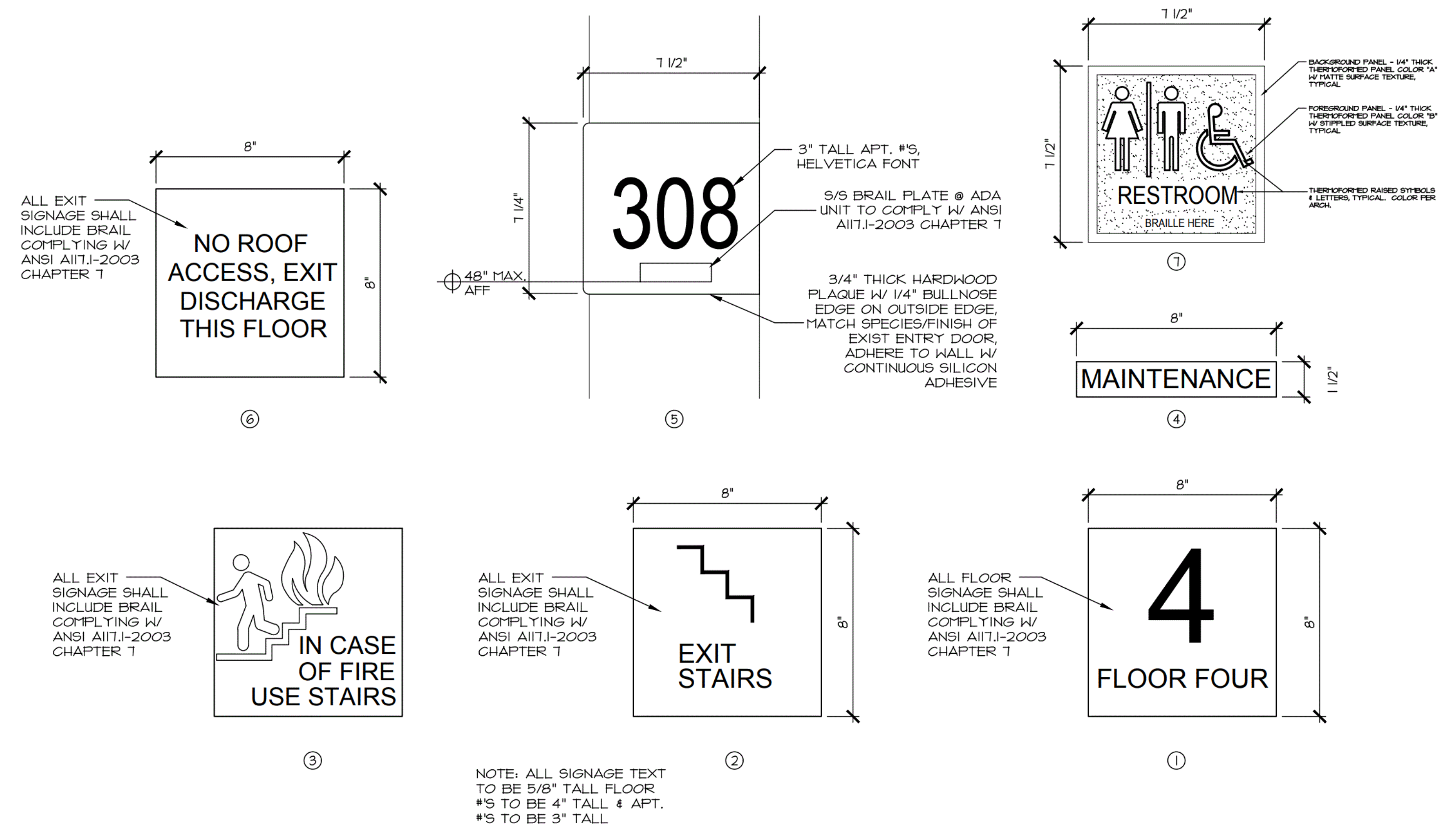
ROOM		BASE	WALLS	FLOOR	CEILING	REMARKS
NO.	NAME	4" VINYL COVE BASE - NO TOE 6x6 HALL TILE	LATEX PT. EGGSHELL PAINT (BENT GLOSS) 7 6x6 HALL TILE	CARPET SQUARES DN2 VCT	6x6 GYP. BD. WITH 1/4" X 1/4" SQUARE ACoustICAL TILE PAINTED STRUCTURE	
100	VESTIBULE					
101	LOBBY					
102	ELEVATOR LOBBY					
103	WOMENS					
104	MENS					
108	DINING					
104	KITCHEN					
110	HALL ROOM					
111	GENERAL OFFICE					
112	PRIVATE OFFICE					
113	TOILET					
114	HALL					
115	LAUNDRY					
116	COATS & GAMES					
C-200	ELEVATOR LOBBY					
C-203	NORTH CORRIDOR					
C-209	SOUTH CORRIDOR					
C-208	COMMON SPACE					
C-204	MENS					
C-210	WOMENS					
C-211	CLOSET					
C-300	ELEVATOR LOBBY					
C-308	NORTH CORRIDOR					
C-309	SOUTH CORRIDOR					
A-100	KITCHEN					
A-101	STORAGE					
A-102	LIVING ROOM					
A-103	BEDROOM					
A-104	BATHROOM					
A-105	CLOSET					
A-200	KITCHEN					
A-201	STORAGE					
A-202	LIVING ROOM					
A-203	BEDROOM					
A-204	BATHROOM					
A-205	CLOSET					
A-300	KITCHEN					
A-301	BATHROOM					
A-302	STORAGE					
A-303	LIVING ROOM					
A-304	BEDROOM					
A-305	CLOSET					
A-400	KITCHEN					
A-401	BATHROOM					
A-402	STORAGE					
A-403	LIVING ROOM					
A-404	BEDROOM					
A-405	CLOSET					
A-500	KITCHEN					
A-501	STORAGE					
A-502	LIVING ROOM					
A-503	BEDROOM 1					
A-504	CLOSET 1					
A-505	BEDROOM 2					
A-506	CLOSET 2					
A-507	BATHROOM					
A-600	LIVING ROOM					
A-601	STORAGE					
A-602	CLOSET 1					
A-603	KITCHEN					
A-604	BEDROOM 1					
A-605	CLOSET 2					
A-606	BEDROOM 2					
A-607	CLOSET 3					
A-608	BATHROOM					

- ROOM FINISH GENERAL NOTES:
- ALL EXISTING INTERIOR WALLS SHALL BE REPAIRED TO BE LIKE NEW & PAINTED.
 - ALL NON-GALVANIZED AND NON-FACTORY FINISHED FERROUS METALS SHALL BE FINISH PAINTED IF EXPOSED IN INTERIOR OR EXTERIOR CONSTRUCTION.
 - DO NOT PAINT GALVANIZED, STAINLESS, FERROUS METALS AND FACTORY FINISHED CONSTRUCTION COMPONENTS.
 - ELEC. CLOSETS, TRASH ROOMS & CORRIDORS ALL SIMILAR EXCEPT CORRIDOR ON FLR. 12.
 - ALL VCT TO BE INSTALLED WITH DIRECTION TO MATCH CEILING GRID.
 - GYP. BD CEILING HEIGHTS PER CEILING PLANS FOR FIRST FLOOR, ALL GYP. BD CEILINGS IN APARTMENTS TO BE 1'-0" AFF.
 - FINISHES TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.

NOTE: ALL SIGNAGE SHALL COMPLY WITH ADA/ANSI REQUIREMENTS

NO.	ROOM	TEXT	TYPE	LOC.	FONT/GRAPHICS	REMARKS
DOORS						
UNIT DOORS	APT. UNITS	"308" (EXAMPLE)	5	A	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-X01	ELECTRICAL	MAINTENANCE	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-X02	TRASH GAITE	TRASH ROOM	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-X03	STAIR	FIRE STAIR	2	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-X05	STAIR	FIRE STAIR	2	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-103	WOMENS	WOMENS	7	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-104	MENS	MENS	7	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-105	ELECTRICAL	ELECTRICAL ROOM	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-106	JANITOR'S CLST	JANITOR'S CLOSET	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-107	MECHANICAL	MECHANICAL ROOM	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-108	DINING	DINING & SOCIAL	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-110	MAIL ROOM	MAIL ROOM	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-113	TOILET	RESTROOM	7	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-115	LAUNDRY	LAUNDRY ROOM	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	1/2" RADIUS CORNERS ALL SIGNS W/ VINYL FOAM TAPE FOR MOUNTING
C-117	MAINTENANCE	MAINTENANCE	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	3/8" RAISED BOARDERS
C-201	JANITOR'S CLOSET	JANITOR'S CLOSET	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-208	COMMON SPACE	COMMON ROOM	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	BEST MANUFACTURING - GRAPH BLAST 1/4"
C-201	MENS	MENS	7	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-210	WOMENS	WOMENS	7	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	
C-211	CLOSET	STORAGE	4	B	5/8" HIGH, STANDARD MEDIUM BRaille DOTS	BACKGROUND & LETTER COLOR PER ARCH.

- SIGNAGE SCHEDULE GENERAL NOTES:
- SIGN TYPE 1 SHALL BE ON THE STAIR SIDE OF EACH STAIR DOOR INDICATING THAT FLOOR # AT THE ELEVATOR INDICATING THAT FLOOR
 - SIGN TYPE 2 SHALL BE ON THE CORRIDOR SIDE OF EACH STAIR DOOR INDICATING THE EXIT STAIR
 - SIGN TYPE 3 SHALL BE AT EACH ELEVATOR LOBBY
 - SIGN TYPE 6 SHALL BE AT EACH STAIR AT EXIT DISCHARGE LEVEL



2 SIGN TYPES
SCALE: 3" = 1'-0"

1 SIGN LOCATIONS
SCALE 1/4" = 1'-0"

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DATE: **FEBRUARY 25, 2022**
SCALE: **1/4" = 1'-0"**
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SHEET

A5.2
SCHEDULES