

**UNITED STATES OF AMERICA
DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
OFFICE OF FAIR HOUSING AND EQUAL OPPORTUNITY**

VOLUNTARY COMPLIANCE AGREEMENT

BETWEEN

THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT

AND

THE HOUSING AUTHORITY OF KANSAS CITY, KANSAS

HUD Case No.: 07-20-R100-4

Voluntary Compliance Agreement

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I. Introduction

On February 10, 2020, the staff from the United States Department of Housing and Urban Development (HUD or Department), Office of Fair Housing and Equal Opportunity (FHEO) sent a Notification and Data Request letter announcing a Section 504 Compliance Review of the Housing Authority Kansas City, Kansas (hereafter referred to as HAKCK or KCKHA¹) of the County of Wyandotte in the City of Kansas City, Kansas. On March 19, 2020, due to COVID-19 directives, HUD staff began working remotely. Therefore, FHEO converted the Section 504 Compliance Review to a remote Compliance Review.

Equal Opportunity Specialists Connie Radcliff, Alfredo Medina Jr., Evelyn Nelson, Carnita Ragan-Thompson, Kathryn Cawvey, and Sarah Fox from HUD's Region VII FHEO Programs and Compliance Branch conducted the review.

The purpose of the review was to obtain information regarding the HAKCK's compliance with Section 504 of the Rehabilitation Act of 1973, as amended, 29 U.S.C. § 794 and the implementing regulations at 24 C.F.R. Part 8 (Section 504), in its public housing program. HUD limited its compliance review to HAKCK's Public Housing Program and its public housing inventory. HAKCK owns and operates 2,058 public housing units located in seven (7) highrise properties (1,123 units); eight (8) townhome properties (761 units); and seven (7) scattered site properties (174 units) in Kansas City, Kansas. The HAKCK reported that it has

¹ The Housing Authority is referred to as KCKHA in Appendix B.

ninety-nine (99) units, "as accessible as possible" and that "some" of the units are equipped with devices for the visually or hearing impaired.

Section 504 requires public housing authorities to operate their programs so that, when viewed in their entirety, the programs are readily accessible to and usable by persons with disabilities. 24 C.F.R. § 8.24. Section 504 generally requires public housing authorities to make facilities and a minimum of five percent (5%) of the total dwelling units accessible to persons with mobility disabilities. See 24 C.F.R. §§ 8.20-8.25. Pursuant to 24 C.F.R. § 8.32(a), buildings designed, constructed, or altered in conformance with Sections 3-8 of the Uniform Federal Accessibility Standards (UFAS) are deemed to be in compliance with the applicable accessibility requirements of Section 504. Pursuant to 24 C.F.R. § 8.26, UFAS-Accessible Units shall be, to the maximum extent feasible and subject to reasonable health and safety requirements, distributed throughout projects and sites; and available in a sufficient range of sizes and amenities so that a qualified individual with disabilities' choice of living arrangements is, as a whole, comparable to that of other persons eligible for housing assistance under the same program.

Section 504 states that "[N]o otherwise qualified individual with handicaps in the United States shall, solely by reason of his or her handicap, be excluded from the participation in, be denied the benefits of, or be subjected to discrimination under any program or activity receiving Federal financial assistance from the Department of Housing and Urban Development."

Due to COVID-19 directives, the FHEO team was unable to conduct physical accessibility surveys of the designated accessible dwelling units, including accessible routes and public office facilities, to determine if they were in compliance with the UFAS. FHEO conducted a remote review of records, reviewed the HAKCK's current policies, including the Admissions and Continued Occupancy Policy (ACOP), and interviewed the HAKCK staff.

HAKCK disclosed that approximately two years ago, it hired and retained a qualified Independent Licensed Architect (ILA) to visit the interior and exterior portions of its properties, not including dwelling units, to determine if their offices and common areas were Section 504 compliant. FHEO reviewed the report that ILA provided to HAKCK (attached as Appendix B, entitled HAKCK ADA Transition Plan), which detailed the areas of non-compliance and ILA's recommendations in order to remedy areas of non-compliance. HAKCK reported that the ILA did not go into any dwelling units to determine accessibility in each of its public housing program units.

As a result of the compliance review, FHEO concluded and HAKCK concurred that the HAKCK's Public Housing Program was not in compliance with Section 504 by failing to meet the 5% and 2% threshold requirements and failing to meet UFAS requirements in public spaces and in units designated as accessible, pursuant to 24 C.F.R. §§ 8.20 - 8.25, and failing to have a designated Section 504 coordinator, per 24 C.F.R. § 8.53(a). In addition, FHEO's review concluded that the ACOP needed amendments to update policy and practice to meet compliance requirements.

HUD and HAKCK (the parties) have agreed to enter into a Voluntary Compliance Agreement (VCA or Agreement) to implement the civil rights requirements and corrective actions set forth in this VCA.

II. DEFINITIONS

This Agreement incorporates by reference all definitions under Section 504 of the Rehabilitation Act of 1973 (Section 504), Title II of the Americans with Disabilities Act (ADA), as well as 24 C.F.R. Part 8, and 28 C.F.R. Part 35, as such definitions exist as of the Effective Date of this Agreement and as amended.

Accessible – When used with respect to the design, construction, or alteration of housing and non-housing programs, including facilities and dwelling units, “accessible” means that the program or portion of the program when designed, constructed, altered, or adapted, can be approached, entered, and used by individuals with physical disabilities, including individuals who use wheelchairs. For purposes of Section 504, the accessibility standard shall be the Uniform Federal Accessibility Standards (UFAS) for design, new construction, and substantial alterations, including alterations to achieve program accessibility, since July 11, 1988. A program that is designed, constructed, altered, or adapted to be in compliance with UFAS meets the minimum standards for compliance and is accessible. *See* 24 C.F.R. §§ 8.3, 8.32 and UFAS

Accessible Route – A continuous, unobstructed UFAS-compliant path as prescribed in 24 C.F.R. §§ 8.3 and 8.32 and UFAS § 4.3.

Alterations – Any change in a facility or its permanent fixtures or equipment, including remodeling, renovation, rehabilitation, reconstruction, changes or rearrangement in structural parts and extraordinary repairs. *See* 24 C.F.R. § 8.3.

Dwelling Unit – A single unit of residence that provides a kitchen or food preparation area, in addition to rooms and spaces for living, bathing, and sleeping. *See* UFAS § 3.5.

Effective Date - The Effective Date of this Agreement is the date of the last signature in Section IX.

Non-housing Programs - All or any HAKCK-owned portions of buildings, structures, sites, complexes, equipment, rolling stock or other conveyances (e.g., buses, shuttles, and vans), roads, walks, passageways, parking lots or other real or personal property including the site where the building, property or structure is located. A non-housing program includes but is not limited to, common areas, entrances, elevators, on-site offices, community centers (including restrooms), corridors, hallways, meeting rooms, recreation rooms, senior citizen centers, social services offices, mail delivery, laundry facilities and trash disposal. Non-housing programs include any aid, benefit or service provided by HAKCK, policies, procedures, and services whose operation contributes to the application for housing, full enjoyment of housing, and full participation in HAKCK’s housing programs. To the extent that entrances, elevators, and common areas provide accessible routes and connect dwelling units and non-housing programs they fall within the provisions of this Agreement.

HAKCK or KCKHA – The officers, directors, agents (including contract employees), employees and successors or assigns of the Housing Authority of Kansas City, Kansas.

Individual or Person with a Disability - For purposes of this Agreement, an individual or person with a disability is any person who has a physical or mental impairment that substantially limits one or more major life activities such as caring for oneself, manual tasks, walking, seeing, hearing, speaking, breathing, or learning; has a record of such impairment; or, is regarded as having such an impairment. *See* 24 C.F.R. § 8.3.

Reasonable Accommodation – A reasonable accommodation is a change, modification, exception, alteration, or adaptation in a policy, procedure, practice, program, service, activity, facility, or dwelling unit that may be necessary to provide a person with a disability the equal opportunity to participate in, have full enjoyment of, or benefit from, a program (housing or non-housing), service or activity.

Total Dwelling Units – For purposes of this Agreement, the total number of HAKCK's Public Housing Dwelling Units, currently identified by HAKCK as 2,058 units as reflected in Appendix A.

UFAS – For purposes of Section 504, the accessibility standard shall be the Uniform Federal Accessibility Standards (UFAS) for design, new construction, and substantial alterations, including alterations to achieve program accessibility, effective July 11, 1988. The design, construction, or alteration of buildings in conformance with Sections 3-8 of the Uniform Federal Accessibility Standards (UFAS) shall be deemed to comply with the requirements of 24 C.F.R. §§ 8.21, 8.22, 8.23 and 8.25. *See* 24 C.F.R. § 8.32(a).

UFAS-Accessible Unit - A dwelling unit that is designed, constructed, altered, or adapted to comply with UFAS and is located on an Accessible Route, as defined in this Agreement. The dwelling unit can be approached, entered, and used by individuals with disabilities, including individuals who use wheelchairs. A UFAS-Accessible Unit has, as a minimum, the accessible elements and spaces required by UFAS § 4.34 and at least one of each type of common area and amenity in each project is accessible and located on an accessible route to any accessible dwelling unit. *See* UFAS § 4.1.3(3). The accompanying non-housing programs must also be accessible unless HAKCK can demonstrate that the structural alterations needed to make the non-housing programs accessible are structurally impracticable or would create an undue financial and administrative burden.

UFAS-Adaptable Unit - A dwelling unit that is on an Accessible Route, as defined by this Agreement, and is adaptable and otherwise in compliance with the standards set forth in 24 C.F.R. § 8.32 is "accessible." Adaptable or adaptability means the ability of certain elements of an otherwise accessible dwelling unit such as kitchen counters, sinks and grab bars, to be added to, raised, lowered, or otherwise altered, to accommodate the needs of persons with or without disabilities or to accommodate the needs of persons with different types or degrees of disability. *See* 24 C.F.R. §§ 8.3 and 8.32; UFAS §§ 4.34.3 - 4.34.6



III. GENERAL PROVISIONS

- A. This VCA applies to all of the HAKCK's Public Housing Program. The Agreement does not affect the obligation of the HAKCK to have all programs, facilities, activities, and policies within Section 504 compliance; nor does it address whether the entirety of the HAKCK's operations are in compliance.
- B. The Effective Date of this Agreement is the date of the last signature in Section IX. This Agreement shall be binding on all of the officers, trustees, directors, agents, employees, and successors or assigns of the HAKCK and HUD. This Agreement shall be in effect for a minimum of five (5) years from the Effective Date of the Agreement or until HUD has determined that the HAKCK has satisfactorily completed all of the provisions set forth in this Agreement, whichever is later. Execution of this Agreement may be accomplished by separate execution of signatures to this Agreement, the original executed signature pages to be attached to the body of the Agreement constitute one document.
- C. The Department may amend upward the minimum five percent (5%) requirement, as set forth in Section IV.B.1.a. of this Agreement, if the Department determines, pursuant to 24 C.F.R. §§ 8.22(c) and 8.23(b)(2), that the needs of income eligible persons with disabilities in the City of Kansas City, Kansas for UFAS-Accessible Units exceed five percent (5%). *See also* 24 C.F.R. § 8.25(c).
- D. With respect to any and all UFAS-Adaptable Units, as defined by this Agreement, that the HAKCK constructs, converts, or acquires to meet the VCA's requirement that five percent (5%) of its Total Dwelling Units be UFAS-Accessible, the HAKCK waives the defense of undue financial and administrative burden as to any modification(s) made to convert a UFAS-Adaptable Unit at the request of an applicant or resident with a disability who requires the features of the adaptable unit.
- E. This Agreement does not increase or diminish the ability of any person or class of persons to exercise their rights under Section 504, Title II of the Americans with Disabilities Act of 1990, as amended by the ADA Amendments Act of 2008 (the ADA)¹, and/or the Fair Housing Act, as amended.² This Agreement does not create any private right of action for any person or class of persons not a party to this Agreement.

¹ 42 U.S.C. §§ 12131 *et seq.* (2021); 28 C.F.R. Part 35 (2021).

² 42 U.S.C. §§ 3601 *et seq.* (2007); 24 C.F.R. Part 100 (2021).

- F. This Agreement does not affect the ability of HUD or the HAKCK to take action under appropriate statutory or regulatory authorities unrelated to issues covered by this VCA.
- G. Upon the Effective Date of this Agreement, this VCA is a public document. A copy of this Agreement shall be made available to any person for his/her review, in accordance with the law.
- H. The HAKCK shall provide a copy of reporting data it generates to comply with this Agreement to any person, upon request, in accordance with the HAKCK's information and privacy practices and procedures. In no event will public disclosure include personally identifiable information (PII) regarding applicants or residents.
- I. To the extent that any prior HUD guidance (written or oral) in the form of waivers, administrative decisions, letters, opinions, or similar guidance regarding the HAKCK's obligations, responsibilities, or technical requirements under Section 504, UFAS, the ADA and/or the Fair Housing Act, conflicts with this Agreement, this Agreement is the controlling document from the Effective Date of this Agreement.
- J. This Agreement does not supersede, or in any manner change, the rights, obligations, and responsibilities of the parties under any and all court orders, or settlements of other controversies involving compliance with civil rights statutes.
- K. This Agreement does not affect any requirements for the HAKCK to comply with all requirements of Section 504, the ADA, and/or the Fair Housing Act not addressed in this Agreement.
- L. All covered multifamily dwellings built for first occupancy after March 13, 1991, shall also be designed and constructed to comply with the Fair Housing Act. *See* 42 U.S.C. § 3604(f)(3)(C) and 24 C.F.R. § 100.205.
- M. This Agreement and the requirements herein are controlling in the event that a court orders the HAKCK to provide a lesser number of units accessible to individuals with disabilities than the requirements stated in this Agreement, and HUD is not a party to the litigation.
- N. The HAKCK will provide in alternate formats, upon request, all notices, correspondence and/or communications that this Agreement requires to be disseminated. *See* 24 C.F.R. § 8.6.

IV. SPECIFIC PROVISIONS

A. SECTION 504 COORDINATOR

1. Within thirty (30) days of the Effective Date of this Agreement, the HAKCK will appoint an Acting Section 504 Coordinator and provide HUD with the name of the individual designated to serve as such.
2. Within ninety (90) days of the Effective Date of this Agreement, the HAKCK shall hire or appoint a Section 504 Coordinator, as required by 24 C.F.R. § 8.53(a), and provide HUD with the name of the individual designated to serve as such and a copy of the Coordinator's resume and/or curriculum vitae.
3. The Section 504 Coordinator will report directly to the Executive Director of the HAKCK and shall serve as the point of contact for the Department regarding this Agreement and Section 504 compliance issues.
4. The Section 504 Coordinator will perform the following functions:
 - a. Coordinate HAKCK's compliance with Section 504 and HUD's implementing regulations;
 - b. Coordinate the implementation of the provisions of this Agreement;
 - c. Coordinate the activities of the HAKCK personnel who will assist with both the implementation of HUD's regulations and this Agreement;
 - d. Submit reports, records and plans required by this Agreement to the Department.
5. The individual fulfilling the role of Section 504 Coordinator must have prior experience that demonstrates knowledge of and expertise concerning Section 504, Title II of the ADA, the Fair Housing Act, the regulations implementing those statutes, and applicable accessibility standards.
6. The HAKCK shall commit sufficient resources so that the Section 504 Coordinator can successfully accomplish these objectives, including but not limited to adequate and relevant training.
7. In the event the Section 504 Coordinator resigns or is otherwise terminated prior to the termination of this Agreement, the HAKCK shall designate an Acting Section 504 Coordinator within fourteen (14) days of the resignation or termination. Upon designation, the HAKCK shall provide HUD with the name of the individual selected to serve as the Acting Section 504 Coordinator.
8. Within ninety (90) days of the termination or resignation of the Section 504 Coordinator, the HAKCK shall select a new Section 504 Coordinator. Upon designation, the HAKCK shall provide HUD with written notice of the new Section 504 Coordinator and a copy of the Coordinator's resume and/or curriculum vitae.

B. HOUSING: ACCESSIBLE DWELLING UNITS

1. Provision of UFAS-Accessible Units

- a. HAKCK shall make a minimum of five percent (5%), or one hundred and three (103), of the Total Dwelling Units in Public Housing Program, UFAS-Accessible Units. HAKCK shall make a minimum additional two percent (2%), or forty-one (41) of the Total Dwelling Units in the Public Housing Program, accessible for persons with hearing or vision impairments. An UFAS-Accessible Unit will not be deemed completed under this Agreement until HAKCK has submitted a third-party certification that the UFAS-Accessible Unit complies with all requirements of UFAS.
 - i. When HAKCK anticipates acquiring additional units, HAKCK shall notify the Department in writing of a proposal to acquire the additional dwelling units ten (10) days prior to submitting a proposal to purchase the property from the property seller.
 - ii. HAKCK must complete one hundred and three (103) UFAS-Accessible Units within two thousand forty (2,040) days of the Effective Date of this Agreement. This shall be accomplished in the phases described below.
- b. HAKCK shall contract with an independent third-party to inspect all dwelling units currently designated as accessible by HAKCK, as identified in Appendix A and the existing HAKCK ADA Transition Plan, which currently identifies recommended corrections to common and exterior areas, as identified in Appendix B to this Agreement, to determine if the units comply with UFAS and produce a report on the results of the inspections. The independent third-party shall also inspect additional units to those HAKCK has self-identified as partially accessible to determine if there are other units viable to make fully UFAS-accessible in accordance with the provisions of this Agreement. The independent third party shall also provide a written certification, when a unit is completed, verifying that the unit qualifies as a UFAS-Accessible Unit.
 - i. Within sixty (60) days of the Effective Date of this Agreement, HAKCK shall submit, for HUD review and approval, the name, qualifications, and experience of the independent third-party with whom HAKCK proposes to contract to inspect and certify dwelling units for compliance with UFAS.
 - ii. HUD will provide its approval, or comments, within thirty (30) days of HAKCK's submission of the proposed independent third-party.
 - iii. Within two hundred ten (210) days of the Effective Date of this Agreement, the approved third-party shall complete inspections of all units designated by HAKCK as accessible or partially accessible identified in Appendix A., any common and exterior areas not inspected in the ILA report, to determine if the units and all common and exterior areas meet the requirements of UFAS and produce a comprehensive report setting out the results of the inspections, including all other viable units to accomplish accessibility, as well as all exterior and common areas. The report shall be submitted



to the Department with the Corrective Action Plan outlined in Paragraph IV.B.1.c. below. The report shall state whether each dwelling unit as identified in Appendix A is in compliance with UFAS. For each dwelling unit in noncompliance, the report shall identify the dwelling unit, identify all UFAS deficiencies within the unit and/or in any common areas, provide and enumerate the pertinent UFAS Section, and set out the corrective actions necessary to comply with UFAS.

- i. If a dwelling unit complies with UFAS and does not require any modifications, then the third party shall provide a written certification that the unit is a UFAS-Accessible Unit.
- c. Within two hundred forty (240) days of the Effective Date of this Agreement, HAKCK shall create and submit a Corrective Action Plan, including a schedule, to the Department demonstrating how HAKCK will comply with the requirement to make at least one hundred three (103) units UFAS-Accessible within the required time frames set out in this Agreement.
 - i. The Department will provide the Recipient with its approval, or comments, within forty-five (45) days of receipt of the proposed Correction Action Plan. Should FHEO's review and the third-party inspection differ, FHEO will, if necessary, consult with the third-party inspector, make a final determination whether the relevant item is noncompliant, and communicate that determination to HAKCK.
 - ii. The completion of the units may be accomplished incrementally over the course of ten (10) consecutive one hundred eighty (180) day periods, beginning after the submission of the Corrective Action Plan, as follows:
 - i. HAKCK shall demonstrate completion of thirteen (13) UFAS-Accessible Units within four hundred twenty (420) days of the Effective Date of this Agreement.
 - ii. HAKCK shall demonstrate completion of ten (10) additional UFAS-Accessible Units or a total of twenty-three (23) UFAS-Accessible Units within six hundred (600) days of the Effective Date of this Agreement.
 - iii. HAKCK shall demonstrate completion of ten (10) additional UFAS-Accessible Units or a total of thirty-three (33) UFAS-Accessible Units within seven hundred eighty (780) days of the Effective Date of this Agreement.
 - iv. HAKCK shall demonstrate completion of ten (10) additional UFAS-Accessible Units or a total of forty-three (43) UFAS-Accessible Units within nine hundred sixty (960) days of the Effective Date of this Agreement.
 - v. HAKCK shall demonstrate completion of ten (10) additional UFAS-Accessible Units or a total of fifty-three (53) UFAS-Accessible Units within one thousand one hundred forty (1,140) days of the Effective

Date of this Agreement.

- vi. HAKCK shall demonstrate completion of ten (10) additional UFAS-Accessible Units or a total of sixty-three (63) UFAS-Accessible Units within one thousand three hundred twenty (1,320) days of the Effective Date of this Agreement.
 - vii. HAKCK shall demonstrate completion of ten (10) additional UFAS-Accessible Units or a total of seventy-three (73) UFAS-Accessible Units within fifteen hundred (1,500) days of the Effective Date of this Agreement.
 - viii. HAKCK shall demonstrate completion of ten (10) additional UFAS-Accessible Units or a total of eighty-three (83) UFAS-Accessible Units within one thousand six hundred eighty (1,680) days of the Effective Date of this Agreement.
 - ix. HAKCK shall demonstrate completion of ten (10) additional UFAS-Accessible Units or a total of ninety-three (93) UFAS-Accessible Units within one thousand eight hundred sixty (1,860) days of the Effective Date of this Agreement.
 - x. HAKCK shall demonstrate completion of ten (10) additional UFAS-Accessible Units or a total of one hundred three (103) UFAS-Accessible Units within two thousand forty (2,040) days of the Effective Date of this Agreement.
 - xi. HAKCK shall submit a status report to the Department at the end of each one hundred and eighty (180) day period. The requirements for the status reports are set out below in Section V.A. of this Agreement.
- iii. The Corrective Action Plan shall set out how HAKCK will remedy the UFAS deficiencies identified in each dwelling unit during the third party's unit inspections. If HAKCK determines that a currently designated unit cannot be made UFAS-Accessible by making modifications, HAKCK shall identify other units currently in the Public Housing Program that it will convert to UFAS-Accessible Units or shall set out a detailed plan to acquire new units that are or will be made UFAS-Accessible.
 - iv. The Corrective Action Plan shall contain the following information for each dwelling unit, including related common areas, that HAKCK proposes to make UFAS Accessible to meet the five percent (5%) requirement:
 - i. The specific actions HAKCK will take to address all UFAS deficiencies in each unit and related common areas;
 - ii. The HAKCK department or employee or the outside company or contractor that will perform the work;
 - iii. Timeframes for when work will commence and when work will be



completed for each unit;

- iv. Estimated cost of modifications and/or acquisitions; and
- v. Source of funding for modifications and/or acquisitions.

- v. The Corrective Action Plan shall include actions to address the noncompliant items in the public and common use areas the previous HAKCK's ILA memorialized in its report in addition to any deficiencies noted during the third-party's inspections. *See Appendix B HAKCK ADA Transition Plan.*

d. Certification of UFAS-Accessible Units

- i. A UFAS-Accessible Unit will not be deemed completed until HAKCK has submitted a certification from the approved third-party verifying that the unit complies with the requirements of UFAS.
- ii. HUD reserves the right to conduct periodic on-site reviews of the completed UFAS-Accessible Units to ensure compliance.

e. Pursuant to 24 C.F.R. § 8.26, UFAS-Accessible Units shall be, to the maximum extent feasible and subject to reasonable health and safety requirements:

- i. Distributed throughout HAKCK's projects and sites; and
- ii. Available in a sufficient range of sizes and amenities so that a qualified individual with disabilities' choice of living arrangements is, as a whole, comparable to that of other persons eligible for housing assistance under the same program.

f. Pursuant to 24 C.F.R. § 8.25(a)(3), when developing public housing through the purchase of existing properties, HAKCK shall give priority to facilities which are readily accessible to and usable by individuals with disabilities.

- g. If HAKCK opts to provide a UFAS-Adaptable Unit, as defined by this Agreement, as UFAS-Accessible Unit, HAKCK must adopt and implement a formal policy and procedure whereby: (1) all new residents will be informed about adaptable features prior to leasing the unit and be able to request that adaptable features be modified or altered to the preference of the new resident; (2) consumer information about adaptable features will be provided within the unit prior to any move-in; (3) consumer information about adaptable features will be provided to residents during the annual recertification process; (4) consumer information will be provided directly to the new resident before move-in to enable him/her to request adjustments to the adaptable features prior to move-in; (5) HAKCK's internal procedures are set forth, including specific timeframes, for commencing and completing modifications to an adaptable unit; and (6) the procedures will include the HAKCK employees and/or offices responsible for coordinating the processing of requests and the completion of the work.

2. Provision of units accessible for persons with hearing or visual impairments

- a. HAKCK asserted some units in the HAKCK's Public Housing Program are equipped with devices for the visually or hearing impaired but did not provide a specific count. Accordingly, HAKCK shall make two percent (2%) or forty-one (41) additional units accessible to persons with hearing or vision impairments by obtaining appropriate emergency alarms that comply with UFAS. Hearing/Vision Features also include, but are not limited to, visual alarms (UFAS §§ 4.34.10, 4.28.3), auxiliary alarms (UFAS §§ 4.34.10, 4.28.4), telephone volume controls and hearing aid compatibility (UFAS § 4.31.5), protections against protruding objects (UFAS § 4.4), stairway requirements (UFAS §§ 4.9, 4.26.4), protections against exposed pipes and surfaces (UFAS §§ 4.19.4, 4.24.6, 4.34.6.5(8)), audible alarms (UFAS § 4.28.2), signage (UFAS § 4.30), push button controls for telephones (UFAS § 4.31.6), consumer information (UFAS § 4.34.4), and range, cooktop, and oven controls (UFAS §§ 4.34.6.6, 4.34.6.7). *See* 24 C.F.R. § 8.22(b), UFAS §§ 4.1.2(13) Accessible Buildings, 4.28 Alarms, 4.34.2(10) Minimum Requirements and A4.28 Alarms.
 - i. HAKCK shall obtain the appropriate alarms within three hundred (300) days of the Effective Date of this Agreement and shall provide evidence to the Department in the form of order forms and/or receipts.
 - ii. To determine which dwelling units will be equipped with the devices, HAKCK shall notify applicants and residents in the Public Housing Program of the availability of the devices and first install the devices in units where a person requests installation and needs the device due to a disability.
 - iii. Within three hundred and thirty (360) days of the Effective Date of this Agreement, HAKCK shall install the devices and notify the Department of each dwelling unit that has been modified with appropriate alarms and devices.

C. POLICIES AND PROCEDURES

1. Within ninety (90) days of the Effective Date of this Agreement, HAKCK shall submit proposed amendments to the HAKCK Board of Commissioners to address the concerns identified during the compliance review for the following sections of the ACOP, the Pre-Application Packet, and the Lease Agreement:
 - a. **ACOP Chapter 4, ACCESSIBILITY OF THE APPLICATION PROCESS, (G)**
 - i. Amend to reflect that HAKCK will consider a reasonable accommodation request from an individual who cannot access the HAKCK's office for disability related reasons or who cannot fill out the application on their own accord for disability related reasons. HAKCK may ask that reasonable accommodation requests to be submitted in writing but must also consider and process verbal requests for reasonable accommodations.



- b. ACOP Chapter 12, Part III (12-III-E), covers "Cost of Transfer" "The resident will bear all of the costs of any resident requested transfer s/he requests."**
 - i. The HAKCK shall amend Chapter 12 of its ACOP and its Transfer Policy to make it clear HAKCK bears the reasonable costs associated with a transfer based on reasonable accommodation or modification. Costs may be considered unreasonable if they will cause an undue financial and administrative burden on HAKCK.
- c. Pre-Application Packet includes the brochure entitled "Frequently Asked Questions about Applying for Public Housing or Section 8."**
 - i. This brochure has a question and answer that reads, "Do I need to apply in person? Yes. To make an appointment, please bring completed application and the supporting documentation. You will also need to come to our office for an interview and to give us application information."
 - ii. Amend the brochure to reflect a reasonable accommodation will be made to accommodate an individual who cannot access the HAKCK's office for disability related needs or who cannot fill out the application on their own accord for disability related reasons.
 - iii. This brochure has a section about filing a fair housing complaint with the HAKCK's Executive Services Manager. Update the brochure to include HUD's information for filing a complaint.
- d. Personal Declaration**
 - i. The Personal Declaration requires "The form must be completed in your own handwriting..."
 - ii. Include an explanation that a reasonable accommodation may be requested if assistance completing the form is needed for disability reasons.
- e. Lease Agreement**
 - i. Amend Part IV to reflect persons with disabilities may need a reasonable accommodation if they cannot access the HAKCK's offices due to disability related constraints.
 - ii. Amend Part IV to reflect that individual with disabilities who cannot complete the paperwork independently or submit requests for accommodations in writing may receive assistance doing so and may submit requests verbally.
 - iii. Amend Part VII(e)(7) to reflect HAKCK will consider reasonable accommodations in the form of transfers needed due to disability, such as the need to transfer to a first level floor unit or the need to

transfer to larger unit due to disability related equipment.

- iv. Amend Part VIII(i) to reflect a reasonable accommodation might require waiving certain requirements, adding – including but not limited to: “A reasonable accommodation is a change, exception, or adjustment to a rule, policy, practice, or service that may be necessary for a person with disabilities to have an equal opportunity to use and enjoy a dwelling, including public and common spaces, or to fulfill their program obligations”.
- f. **“Pet-Care Behavior Agreement”** used for both pets and assistance animals, requires residents to provide written documentation their animal has been neutered/spayed, licensed, and inoculated, as required by local ordinance. Burdensome requirements and restrictions, including weight and breed restrictions, may not be imposed on emotional support animals or other service animals.
 - i. Amend the “Pet-Care Behavior Agreement” and any forms, lease agreements, handbooks, and brochures to make clear the conditions apply solely to pets and provide specific guidance on how to apply for a reasonable accommodation for assistance and service animals.
- g. The Lease, IX(v) provides that companion/service animals are “subject to reasonable health and safety rules. Restriction based on size, type of building and site location or other relevant conditions will apply.”
 - i. Amend the lease and any forms, lease agreements, handbooks, and brochures to make clear the second sentence restrictions apply solely to pets and provide specific guidance on how to apply for a reasonable accommodation for assistance and service animals.
- h. The “Kansas City, Kansas Housing Authority Pet Policy and Rules of Pet Ownership,” includes the same conditions/requirements as mentioned in the “Pet Care Behavior Agreement.”
 - i. Amend the “KCKHA Pet Policy and Rules of Pet Ownership” and any forms, lease agreements, handbooks, and brochures to make clear the conditions apply solely to pets and provide specific guidance on how to apply for a reasonable accommodation for assistance and service animals.
- 2. Within thirty (30) days of receiving initial approval on the proposed amendments from HAKCK Board of Commissioners, HAKCK shall submit the proposed amendments to HUD. HUD will provide its approval or comments to the proposed amendments to the aforementioned HAKCK documents within forty-five (45) days of receipt.
- 3. Within thirty (30) days of HUD’s approval, HAKCK shall submit the proposed amendments to the ACOP and documents to the HAKCK Board of



Commissioners and for public review and comment for a thirty (30) day notice period in accordance with Section 5A of the United States Housing Act of 1937 (USHA), as amended by Section 511 of the Quality Housing and Work Responsibility Act of 1998. *See* 24 C.F.R. Part 966 (2021).

4. Within thirty (30) days of the close of the public comment period and if there are no public comments as described below, the HAKCK Board shall provide final approval, and HAKCK will fully adopt and implement the amended ACOP and documents under provisions C(1)(a) through (e).
5. In the event that public comments require a change to any of the amended documents under provisions C(1)(a) through (e) that relate to requirements of this Agreement, within thirty (30) days of the close of the public comment period, HAKCK shall submit proposed revisions of the Agreement to HUD for approval. Within thirty (30) days of HUD approval, the HAKCK Board shall provide final approval and HAKCK will fully adopt and implement the amended documents under provisions C(1)(a) through (e).

D. EMPLOYEE EDUCATION AND TRAINING

1. Within two hundred forty (240) days of the Effective Date of this Agreement, all current employees involved in the property management of the HAKCK ("covered employees")³ of the HAKCK shall receive a minimum of four (4) hours of training related to HAKCK's duties under this Agreement, as well as applicable civil rights statutes.
 - a. The training shall cover topics including:
 - i. Implementation of the VCA;
 - ii. General nondiscrimination requirements and obligations under Section 504, specifically including the accessibility requirements of UFAS for dwelling units and other facilities;
 - iii. General nondiscrimination requirements under the Fair Housing Act; and
 - iv. Reasonable accommodations under Section 504 and the Fair Housing Act.
 - b. HAKCK shall submit the name and qualifications of the person and/or organization providing the training to the Department within two hundred (200) days of the Effective Date of the Agreement.
 - c. The Department shall provide its approval and/or comments within thirty (30) days of receipt of the information.

³ Employees involved in the property management of HAKCK include managers and other employees whose daily job tasks involve interacting with applicants and/or tenants ("covered employees"). The term employees include contract employees, long-term (a minimum of four months) consultants and employees of long-term consultants.

2. Within sixty (60) days of each new covered employee's entry date of service, the HAKCK shall require new covered employees to receive training and/or review the training materials provided during the training set forth in Paragraph 1.a. above.

3. The Section 504 Coordinator shall maintain records of the dates the training sessions were conducted, the names and titles of the people in attendance, and the agenda for the training. These records shall be included in the Status Reports submitted to the Department throughout the duration of this Agreement.

E. NOTICE AND PUBLICATION

1. Within thirty (30) days of the Effective Date of this Agreement, the Section 504 Coordinator shall distribute a letter describing the terms of the VCA to all current HAKCK employees, including contract employees.
2. Within thirty (30) days of the Effective Date of this Agreement, the Section 504 Coordinator shall distribute a copy of the VCA to members of the HAKCK Board of Commissioners and HAKCK managers and supervisors that will be responsible for the implementation of the actions set out in the VCA, as well as Property Managers and Resident Council Presidents or their designee.

F. WAITING LIST AND OUTREACH PLAN

1. Within sixty (60) days of the Effective Date of this Agreement, HAKCK shall assess its waiting list for the Public Housing Program, utilizing available census data and community resources such as local disability organizations, to determine if the needs of persons with disabilities in the community are being appropriately met.
2. Within one hundred twenty (120) days of the Effective Date of this Agreement, HAKCK shall develop and submit to the Department an outreach plan to ensure that information regarding the availability of accessible units reaches eligible persons with disabilities in compliance with 24 C.F.R. § 8.27(a).
 - a. The Department shall provide approval and comments, if any, on the outreach plan within thirty (30) days of receipt of the plan.
3. HAKCK shall implement the outreach plan within one hundred and fifty (150) days of the Effective Date of this Agreement unless the plan requires modification pursuant to the Department's comments. If the plan requires modification pursuant to the Department's comments, HAKCK shall implement the outreach plan within thirty (30) days of receiving the Department's approval.
4. As evidence of the implementation of the outreach plan, HAKCK shall submit copies of the notices provided to community agencies and in HAKCK's quarterly newsletters in the Status Reports submitted to the Department throughout the duration of this Agreement.

G. SELF-EVALUATION AND TRANSITION PLAN

1. Within ninety (90) days of the Effective Date of this Agreement, the HAKCK shall commence a Section 504 Needs Assessment and Self-Evaluation of the HAKCK's Public Housing Program, including its Scattered Site Program, to identify needs in the community and steps that the HAKCK can take to ensure the Public Housing Program is

accessible to persons with disabilities. *See* 24 C.F.R. §§ 8.51 and 8.25(c).

2. Within two hundred forty (240) days of the Effective Date of this Agreement, the HAKCK shall submit a completed Self-Evaluation to the Department. Note, the Corrective Action Plan and the Self-Evaluation can be combined into one submission.
3. Within two hundred forty (240) days of the Effective Date of this Agreement, the HAKCK shall submit a Transition Plan demonstrating how the HAKCK will address needs or areas of concern identified during the HAKCK's Self-Evaluation. Note, the Corrective Action Plan, Transition Plan, and the Self-Evaluation can be combined into one submission.

V. REPORTING AND COMPLIANCE REQUIREMENTS

A. STATUS REPORTS

1. This Agreement establishes the requirement for the HAKCK to submit five (5) Status Reports to the Department detailing the HAKCK's ongoing progress towards compliance with Section 504 throughout the duration of this Agreement.
2. The first of these Status Reports is due one hundred eighty (180) days from the Effective Date of this agreement. The first Status Report shall contain:
 - a. Confirmation that HAKCK has appointed or hired a Section 504 Coordinator and that such person has begun to fulfill the duties set out in Section IV.A. of this Agreement.
 - b. A report on the status of the Corrective Action Plan and the corrective actions referenced in Provision IV.B. of this Agreement.
 - c. A report on the status of the amendments to the ACOP and other documents referenced in Section IV.C. of this Agreement.
 - d. A report on the status of the employee training required under Section IV.D. of this Agreement.
 - e. Evidence that the notification requirements referenced in Section IV.E. of this Agreement have been satisfied.
 - f. A report on the status of HAKCK's Section 504 Self-Evaluation and Transition Report referenced in Section IV.G. of this Agreement.

- g. A report on the status of the independent third-party's inspections of dwelling units to determine compliance with UFAS referenced in Section IV.B.1.b. of this Agreement.
 - h. Evidence of HAKCK's assessment of its waiting list and development of its outreach plan and a record of HAKCK's outreach activities, referenced in Section IV.F. of this Agreement, during the reporting period to notify disabled members of the community of available accessible housing.
 - i. A breakdown of funds allocated and used in order to bring the HAKCK into Section 504 compliance during the phase being reported.
 - j. A record of tenant or applicant complaints and requests relating to disability, accessibility of units or facilities, including requests for accessible units on applications, unit transfer requests and requests for reasonable accommodations and modifications.
- 3. The second Status Report is due one (1) year after the Effective Date of this agreement and shall contain:
 - a. The Corrective Action Plan regarding UFAS-Accessible Units referenced in Section IV.B.1.c. of this Agreement, as well as the common and exterior areas.
 - b. The independent third-party's comprehensive report referenced in Section IV.B.1.b. of this Agreement.
 - c. HAKCK's completed Section 504 Self-Evaluation and Transition Plan referenced in Section IV.G. of this Agreement. A description of any modifications made and of any remedial steps taken.
 - d. A report on the status of the alarms necessary to make two percent (2%) of its dwelling units in newly constructed buildings accessible for persons with hearing or visual impairments as referenced in Section IV.B.2. of this Agreement.
 - e. A report on the status of the amendments to the ACOP and other documents referenced in Section IV.C. of this Agreement. If the ACOP and other documents have become final, a copy of the final documents.
 - f. A breakdown of funds allocated and used in order to bring HAKCK into Section 504 compliance during the phase being reported.
 - g. A record of HAKCK's outreach activities, referenced in Section IV.F. of this Agreement, during the reporting period to notify disabled members of the community of available accessible housing.
 - h. A record of tenant or applicant complaints and requests relating to disability, accessibility of units or facilities, including requests for accessible units on applications, unit transfer requests and requests for reasonable accommodations and modifications.
 - i. Evidence of the employee training and records as required under Section IV.D. of this Agreement.

4. The third, fourth, and fifth Status Reports are due annually after the first year from the Effective Date of this Agreement, and shall contain:
 - a. A summary of the work that has been undertaken and the work that has been completed at each designated unit set out by unit address, as well as the work completed in common and exterior areas.
 - b. For each completed unit, a certification from the independent third-party verifying that the unit complies with the requirements of UFAS.
 - c. Information establishing the current number of UFAS-Accessible Units and the current number of Total Dwelling Units.
 - d. A report on any properties HAKCK plans to acquire and the accessibility of said properties.
 - e. A narrative to describe any delays in meeting the interim timeframes and benchmarks identified in this Agreement and the Corrective Action Plan.
 - f. If a delay has occurred, a detailed description of HAKCK's plan to remedy the delay.
 - g. A breakdown of funds allocated and used in order to bring HAKCK into Section 504 compliance during the phase being reported.
 - h. A record of HAKCK's outreach activities during the reporting period to notify disabled members of the community of available accessible housing.
 - i. Regarding to the Transition Plan, a description of any modifications made, and remedial steps taken.
 - j. Records of training provided during the reporting period as required at Section IV.D.
 - k. A record of tenant or applicant complaints and requests relating to disability, accessibility of units or facilities, including requests for accessible units on applications, unit transfer requests, and requests for reasonable accommodations and modifications.
 - l. A list identifying each dwelling unit, by address, that has been modified with appropriate alarms and devices to be accessible for persons with hearing or visual impairments as referenced in Section IV.B.2. of this Agreement.

B. GENERAL REPORTING

1. For purposes of this Agreement, if the reporting day falls on a weekend or a federal holiday, the report will be due the first business day after the weekend or holiday.
2. For purposes of this Agreement, all reporting and related materials must be emailed

to: Kitty A. Amaya
Chief, Programs and Compliance
Kathryn.a.amaya@hud.gov

VI. RECORDKEEPING REQUIREMENTS

- A. During the term of this Agreement, HAKCK shall maintain the following records and upon request, HAKCK shall make these records available for inspection to appropriate Department employees.
1. HAKCK shall maintain records, including those required under HUD program regulations, which disclose all individuals who apply for public housing assistance and the way each application is resolved.
 2. HAKCK shall maintain all HAKCK resident files, including applications for residency, disability status, rental agreements or leases, notices and letters to residents, requests for reasonable accommodations, and notices of termination, along with any and all material relating to HAKCK's implementation of the Section 504 requirements of this Agreement.
 3. HAKCK shall maintain copies of all disability-related complaints, claims, grievances, investigative records, and requests for reasonable accommodations and all review materials and documents related to the reasonable accommodation requests, including grievance process materials.
 4. HAKCK shall maintain files containing documentation of its efforts to meet the obligations of this Agreement.

VII. IMPLEMENTATION, MONITORING AND ENFORCEMENT

- A. HUD will monitor the HAKCK's implementation of this Agreement. During the first year after the Effective Date of this Agreement, HUD and the HAKCK will meet at least once to discuss the HAKCK's progress towards meeting the requirements of this Agreement. Thereafter, at its discretion, HUD may convene meetings with the HAKCK's Executive Director, Section 504 Coordinator and/or other appropriate HAKCK personnel, with notice to the Executive Director, to discuss progress with implementing the terms of this Agreement, propose modifications, or conduct other business with respect to this Agreement.
- B. HUD reserves the right to conduct periodic on-site reviews of the completed UFAS-Accessible Units and non-housing facilities to ensure compliance with this Agreement and Section 504.
- C. Prior to the expiration of any timeframe in this Agreement, the HAKCK may submit a request for any extension supported by documentation of good cause. The Department shall review requests for extensions and grant them if they are reasonable. In the event that the HAKCK fails to comply in a timely fashion with any requirement of this Agreement without obtaining advance written agreement from HUD, the Department may enforce the terms of this Agreement by any contractual, statutory, or regulatory remedy available to HUD.
- D. Failure by HUD to enforce this entire Agreement or any provision in the Agreement with regard to any deadline or any other provision herein shall not be construed as a

waiver of its right to do so with regard to other deadlines and provisions of this Agreement. Furthermore, HUD's failure to enforce this entire Agreement or any provision thereof shall not be construed as a waiver of any obligation of the HAKCK under this Agreement.


VIII. EFFECT OF NON-COMPLIANCE WITH THIS AGREEMENT

- A. The parties intend to resolve their disputes with respect to non-compliance with this Agreement in a timely and efficient manner. Upon a finding of non-compliance, HUD will provide HAKCK with a written statement specifying the facts of the alleged non-compliance and a reasonable opportunity to resolve or cure the alleged non-compliance; or, in the alternative, an opportunity to negotiate in good faith HUD's findings of non-compliance. However, if the Department determines that the HAKCK has not satisfactorily resolved the findings of non-compliance, the Department may take any of the following actions for non-compliance, unless specifically noted otherwise in this Agreement.
1. Any act(s) or omission(s) by a HAKCK employee who violates the terms of this Agreement may serve as grounds for HUD's imposing debarment, as set forth in 24 C.F.R. Part 24 and 2 C.F.R. Part 2424, Subpart G (2021); or limited denial of participation, as set forth in 24 C.F.R. Part 24 and 2 C.F.R. Part 2424 Subpart J (2021) for that employee.
 2. Any act(s) or omission(s) that violates the terms of this Agreement may serve as grounds for HUD's declaring a breach of the annual contributions contract (ACC) with respect to some or all of HAKCK's functions. 24 C.F.R. § 905.804(a)(6)(f) (2021).
 3. Any act(s) or omission(s) that violates the terms of this Agreement may serve as grounds for HUD's withholding some or all of the HAKCK's Capital Fund Program funding. 24 C.F.R. § 905.804(a)(3)(f) (2021).
 4. Any act(s) or omission(s) that violates the terms of this Agreement may serve as grounds for the Department to deny the HAKCK high performer status. 24 C.F.R. § 902.66 (2021).
 5. Any act(s) or omission(s) that violates the terms of this Agreement may serve as grounds for the United States to seek specific performance of any or all of the provisions of this Agreement in federal court.

6. Any act(s) or omission(s) that violates the terms of this Agreement may serve as grounds for the Department to conduct a compliance review under Section 504 or other appropriate statutory or regulatory authority.
 7. Any act(s) or omission(s) that violates the terms of this Agreement may serve as grounds for the United States to pursue an action in federal court for failure to comply with civil rights authorities.
- B. The acts set forth in this Section are not mutually exclusive, and the Department has the right to pursue any or all of these remedies or any other remedies available under law.

IX. SIGNATURES


Housing Authority of Kansas City, Kansas:



Andrea Tapia
Executive Director/CEO

9/28/2021
Date

For the U.S. Department of Housing and Urban Development:



Natasha J. Watson
Regional Director, Region VII
Office of Fair Housing and Equal Opportunity

9/29/2021
Date

X. Appendix A

HAKCK's Public Housing Units

Development	Building Address	Bldg. Type	Year Built	Floors	1BR	2BR	3BR	4BR
Juniper Gardens	1923 North 3rd St.	4 plex	1962	1	1			
	1935 North 3rd St.	4 plex	1962	1	1			
	1945 North 3rd St.	4 plex	1962	1	1			
	1957 North 3rd St.	4 plex	1962	1	1			
	1975 North 3rd St.	4 plex	1962	1	1			
	2007 North 3rd St.	4 plex	1962	1	1			
	2015 North 3rd St.	4 plex	1962	1	1			
	2023 North 3rd St.	4 plex	1962	1	1			
	2037 North 3rd St.	4 plex	1962	1	1			
	2039 North 2nd St.	4 plex	1962	1	1			
	2047 North 2nd St.	4 plex	1962	1	1			
	2043 North 1st St.	4 plex	1962	1	1			
	2051 North 1st St.	4 plex	1962	1	1			
	2065 North 1st St.	4 plex	1962	1	1			
	222 Edgerton Drive	4 plex	1962	1	1			
	101 Stewart Ave.	4 plex	1962	1	1			
	217 Stewart Ave.	4 plex	1962	1	1			
	231 Stewart Ave.	4 plex	1962	1	1			
St. Margaret's	301 South Mill St.	Duplex	1963	1	1			
	303 South Mill St.	Duplex	1963	1	1			
	305 South Mill St.	Duplex	1963	1	1			
	307 South Mill St.	Duplex	1963	1	1			
	817 Gilmore Ave.	Duplex	1963	1	1			
Cyrus K. Holiday	1722 South 37th Court	Duplex	1967	2				1
	1724 South 37th Court	Duplex	1967	2				1
Belrose Manor	4024 Lloyd St.	Duplex	1968	1	1			
Scattered Sites 9	1317 Washington Ave.	Duplex	1973	2			1	
Chalet Manor	1706 Birch Street	4 plex	1971	2			1	
	1712 Birch Street	4 plex	1971	2			1	
	1712 Birch St.	4 plex	1971	2			1	
Scattered Sites 15	4529 Oak Street	1 Family	1973	2			1	
Welborn Villa	5120 Leavenworth Road "O"	Walkup	1974	1	1			
	5120 Leavenworth Road "P"	Walkup	1974	1	1			
	5124 Leavenworth Road "O"	Walkup	1974	1	1			
	5124 Leavenworth Road "P"	Walkup	1974	1	1			
	5128 Leavenworth Road "O"	Walkup	1974	1	1			
	5128 Leavenworth Road "P"	Walkup	1974	1	1			
	5132 Leavenworth Road "O"	Walkup	1974	1	1			
	5132 Leavenworth Road "P"	Walkup	1974	1	1			
	5140 Leavenworth Road "O"	Walkup	1974	1	1			
	5140 Leavenworth Road "P"	Walkup	1974	1	1			
Westgate Villa	3127 North 61st Street	Walkup	1980	1		1		

Development	Building Address	Bldg. Type	Year Built	Floors	1BR	2BR	3BR	4BR
Westgate Villa	3129 North 61st Street	Walkup	1980	1		1		
	3131 North 61st Street	Walkup	1980	1		1		
	3133 North 61st Street	Walkup	1980	1		1		
	3135 North 61st Street	Walkup	1980	1	1			
	3137 North 61st Street	Walkup	1980	1	1			
	3139 North 61st Street	Walkup	1980	1	1			
	3141 North 61st Street	Walkup	1980	1	1			
	3143 North 61st Street	Walkup	1980	1	1			
	3145 North 61st Street	Walkup	1980	1	1			
	3147 North 61st Street	Walkup	1980	1	1			
	3149 North 61st Street	Walkup	1980	1	1			
	3201 North 61st Street	Walkup	1980	1	1			
	3203 North 61st Street	Walkup	1980	1	1			
	3205 North 61st Street	Walkup	1980	1	1			
	3207 North 61st Street	Walkup	1980	1	1			
	3209 North 61st Street	Walkup	1980	1	1			
	3211 North 61st Street	Walkup	1980	1	1			
	3213 North 61st Street	Walkup	1980	1	1			
	3215 North 61st Street	Walkup	1980	1	1			
Wyandotte Tower	915 Washington Blvd. "405"	Tower	1969	16	1			
	915 Washington Blvd. "501"	Tower	1969	16	1			
	915 Washington Blvd. "511"	Tower	1969	16	1			
	915 Washington Blvd. "517"	Tower	1969	16	1			
Glanville Tower	730 Nebraska Ave. "109"	Tower	1974	9	1			
	730 Nebraska Ave. "309"	Tower	1974	9	1			
	730 Nebraska Ave. "509"	Tower	1974	9	1			
	730 Nebraska Ave. "709"	Tower	1974	9	1			
	730 Nebraska Ave. "909"	Tower	1974	9	1			
Douglas Heights	1742 South 40th St. "202"	Tower	1972	9	1			
	1742 South 40th St. "302"	Tower	1972	9	1			
	1742 South 40th St. "502"	Tower	1972	9	1			
	1742 South 40th St. "702"	Tower	1972	9	1			
	1742 South 40th St. "902"	Tower	1972	9	1			
Bethany Tower	1131 Central Ave. G-3 th	Tower	1976	14	1			
	1131 Central Ave. "1005"	Tower	1976	14		1		
Rosedale Tower	2314 West 39th Ave. "411"	Tower	1975	12	1			
Westgate Tower	6100 Leavenworth Road "201"	Tower	1976	12		1		
	6100 Leavenworth Road "301"	Tower	1976	12		1		
	6100 Leavenworth Road "310"	Tower	1976	12	1			
	6100 Leavenworth Road "410"	Tower	1976	12	1			
	6100 Leavenworth Road "510"	Tower	1976	12	1			
	6100 Leavenworth Road "610"	Tower	1976	12	1			
	6100 Leavenworth Road "710"	Tower	1976	12	1			
	6100 Leavenworth Road "810"	Tower	1976	12	1			

Development	Building Address	Bldg. Type	Year Built	Floors	1BR	2BR	3BR	4BR
Plaza Tower	1200 North 75th Place "200"	Tower	1981	8	1			
	1200 North 75th Place "201"	Tower	1981	8	1			
	1200 North 75th Place "202"	Tower	1981	8	1			
	1200 North 75th Place "203"	Tower	1981	8		1		
	1200 North 75th Place "204"	Tower	1981	8		1		
	1200 North 75th Place "205"	Tower	1981	8	1			
	1200 North 75th Place "207"	Tower	1981	8		1		
	1200 North 75th Place "208"	Tower	1981	8	1			
	1200 North 75th Place "209"	Tower	1981	8		1		
	1200 North 75th Place "210"	Tower	1981	8	1			
	1200 North 75th Place "211"	Tower	1981	8		1		
	1200 North 75th Place "212"	Tower	1981	8	1			
	1200 North 75th Place "214"	Tower	1981	8	1			
	Total				80	12	5	2

XI. Appendix B
HAKCK ADA Transition Plan

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description: Wyandotte Towers				
Location: 915 Washington Blvd. Kansas City, Kansas 66101				
Non-Compliant Location (Refer to Figures 1.5, 1.6)	Description	Recommended Correction	Estimated Cost	Priority
Room 183, Office	Door opening is not compliant with the 32" minimum width required.	Provide a door opening with a minimum width of 32" and replace door with appropriate width.	\$2,000	1
Room 172, Service Lobby	Door from 172 to 171 has 28" opening, not compliant with the 32" minimum required	Provide a door opening with a minimum width of 32" and replace with appropriate width.	\$2,000	1
Room 172, Service Lobby	Door opening to emergency stair is 31", not compliant with the 32" minimum required	Provide a door opening with a minimum width of 32" and replace with appropriate width.	\$2,000	1
Emergency Stair in room 172	Handrail is not compliant; stair doesn't have any railing on wall side. Refer to Figure 1.1	Replace the existing gripping surface with one with round corners as required by ADA. Add Provide an ADA compliant handrail on the remaining side.	\$2,000	2
Room 130, Community Room	Exterior door threshold does not comply with the 1/4" change and elevation maximum requirement.	Install a threshold ramp to provide a continuous floor surface.	\$200	2
Room 130, Community Room	The rubber mat that is recessed from the floor surface on the interior side of the door leaves a gap opening in the edges greater than the maximum allowed of 1/2". Refer to Figure 1.2	Replace the existing mat for one that fits better on the recessed floor area provided. OR Fill the edges of the recessed floor area so that the gaps at the edges do not exceed thru 1/2" maximum.	\$100	1
Room 122, Entry	The rubber mat used in the interior side of the door leaves a gap opening in the edges greater than the maximum allowed of 1/2". Refer to Figure 1.2	Replace the existing mat for one that fits better on the recessed floor area provided. OR Fill the edges of the recessed floor area so that the gaps at the edges do not exceed thru 1/2" maximum.	\$100	1
Room 118, Meeting Room	The threshold in door from room 118 to 120 has an elevation change higher than 1/4"	Install a threshold ramp to provide a continuous floor surface.	\$200	1
Room 136, Hall	Handicap door opening button from room 136 to 139 was not working at the time of the assessment.	Repair/replace handicapped door opener system.	\$1,000	1
Room 166, Men's Restroom	Restroom mirror is at 41 1/2", whereas it is required to be at or lower 40". No vertical grab bar. Exposed piping under sink.	Add vertical grab bar 39"-41" from back wall. Move toilet paper dispenser under 42" bar to do so. Cover exposed piping under sink with under-lavatory protector. Relocate the mirror 1 1/2" downwards.	\$200	2
Room 144, Men's Restroom	The rear grab bar in the accessible stall should be 2" closer to the wall. Also, the coat hook is located at 63" whereas maximum permitted height is 48"	Relocate the rear grab bar 2" closer to the wall. Relocate the coat hook at 48" above finish floor.	N/A	3
Room 167, Women's Restroom	No clear floor space of 56" x 60". Paper towel receptacle protrudes into clear floor space making the space 56" x 55". Current faucet knobs not compliant. Need to be lever-operated. No vertical grab bar. Refer to Figure 1.4	Add vertical grab bar and move toilet paper dispenser under 42" bar to do so. Relocate paper towel dispenser/receptacle to get the standard 56"x60" clear floor space. Update current faucet knobs to lever operated handles. Provide a space layout that features the required clearance in toilet facilities.	\$400	3
Room 150, Men's Restroom	Piping exposed under sink. Mirror mounted too high over sink. Faucet handles not lever operated. Partition locks not ADA approved. No vertical grab bar.	Cover exposed piping with under-lavatory protector. Rotate mirror to be vertical and relocate one to be 40" from floor. Update faucet handles to be lever operated and partition locks to be ADA approved. Add vertical grab bar 39"-41" from back wall.	\$400	3
Room 151, Women's Restroom	Mirror not mounted at 40". Piping exposed under sinks not covered. Toilet paper dispenser mounted too high at 49 1/2". Coat hooks to be added or mounted at 44"-48". Current faucet knobs not compliant. Need to be lever-operated. No vertical grab bar in handicap stall. Stall partition locks not ADA compliant.	Add vertical grab bar 39"-41" from back wall and lower toilet paper dispenser to a min. of 15" above floor and 7"-9" from front of toilet. Cover piping with under-lavatory protector. Have both mirrors mounted 40" from the floor from the bottom frame of the mirror (possibly rotate them). Update faucet knobs to lever operated handles. Add coat hooks to stalls. Handicap coat hook to be 44"-48" from floor. Move toilet paper dispensers to be 44"-48" from floor. Update partition locks to be ADA compliant.	\$300	3

Room 143, Women's Restroom	Coat hooks on partitions either too high (greater than 48") or not on stall partition at all. Locks on partition doors do not lock or are not compliant with ADA use. Faucet handles are not lever operated handles.	Add vertical grab bar 39"-41" from back wall. Add coat hook to ADA stall at 48". Update partition locks to be ADA compliant. Update faucet handles to be lever operated handles.	\$400	2
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SRe - Main entry and ramp to Wyandotte Towers	There is a 1" gap in the floor surface at top of ramp to main entrance door.	Fill the gap on concrete top to provide a continuous surface.	\$200	1
SRe - Large ramp at the east of the main entrance, coming from the parking lot.	At the top of the ramp there is a gap with an 1.5" opening and a change in elevation larger than the maximum allowed of 1/2". Handrails are 33" tall.	Fill the gaps at the top of concrete slab to be continuous and ramped. Adjust handrail to provide a gripping surface between 34" to 38" from finish floor.	\$250	1
SRe - Sidewalk approaching the entrance to room 101	Gaps in exterior concrete control joints often have openings and changes in elevation greater than 1/2".	Fill gaps in the control joints with sealant to provide a continuous floor space.	\$200	1
SRe - Sidewalks between Wyandotte Tower and the KCKHA Admin. Bldg.	No compliant curb ramps are provided for pedestrians to go from Wyandotte Tower to KCKHA Admin. Bldg.	Provide ADA compliant curb ramps for pedestrians to go from Wyandotte Tower to KCKHA Admin. Bldg. using the existing sidewalks.	\$200	1
SRe - Courtyard at the southwest of the Wyandotte Tower	Gaps in exterior concrete control joints often have opening gaps and changes in elevation greater than 1/2".	Fill gaps in the control joints with sealant to provide a continuous floor surface.	\$200	1
SRe - Exterior hallway at the exterior west wall of the KCKHA Admin. Bldg.	There are objects protruding from the wall more than the maximum permitted of 4" (sensors and electrical feeders). Refer to Figure 1.3	Provide cane rail around such protruding objects or relocate them to avoid any protrusion in the accessible pathway larger than 4" from the face of the wall.	\$500	2
SRe - Curb ramp in front of the south entrance of the KCKHA Admin Bldg.	There is a gap at the bottom of the ramp that exceeds the maximum allowed 1/2" opening and change in elevation.	Fill the gaps in the joint between the asphalt pavement and the sidewalk concrete slab to provide a continuous floor space.	\$200	1
SRe - Stair/walkway in front of east entrance of the KCKHA Admin. Bldg.	The stair handrails are at 39" from finish floor, whereas the required maximum is 38". The stair handrails are too low at 32", whereas the required minimum is 34". The extensions of stair handrails are not a minimum of 12" above landing. The stairs do not have a uniform riser height (6"-9"). Crack/bump in riser slab of stairs. Refer to Figure 1.4	Adjust existing handrails on ramp to comply with the allowed height range of 34"-38" from finish floor and add the required handrail extension of 12" at top and bottom. Replace stair.	\$700	1
SRe - Curb ramp in front of the east entrance of the KCKHA Admin Bldg.	The ramp has no handrails. The floor surface at the bottom of the ramp is not flat or continuous.	Provide ADA compliant handrails. Repair existing concrete top at the bottom of the ramp to provide a continuous ramped floor surface.	\$800	1
SRe - Stair in front of north entrance of the KCKHA Admin. Bldg.	Gap opening larger than 1" on landing at top of stairs. Top of handrail extension is not continuous. Bottom of handrail doesn't extend past the riser of the stair.	Fill gap in concrete on landing concrete slab to provide a continuous floor space. Adjust the existing handrail to extend throughout the entire stairs and have the required extensions.	\$620	1
Elevators	Some of the interior buttons also do not have Braille. Visible hall signals/lanterns need to be replaced, one of the directional arrows is broken on each. No ADA signage.	Add Braille plates to ones that are missing in elevator cars. Replace/update broken hall directional arrow signals/lanterns. Add ADA signage.	\$3,000	1
Interior doors	Most interior doors do not have lever operated handles.	Updated doorknobs to have lever operated handles. (approximately 25 doors)	\$2,000	1
Total			\$20,170	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description: KCKHA Administration Building				
Location: 1124 N. 9th St. Kansas City, Kansas 66101				
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Doors in the offices along the main entrance door	The door opening is 29", not complying with the 32" minimum required	Provide a door opening with a minimum width of 32" and replace door with appropriate width.	\$2,000	1
Exterior door of east entry (side with ramp)	Door threshold has a change in elevation higher than 1/4", and surface is not continuous. Doorknob is not compliant.	Adjust the door mat to fit the size of the opening size in floor. Fill the gap at the bottom of the door threshold to provide a continuous floor surface.	\$200	1
Room 108, Office	Door opening to go from copy room 108 is 31" wide, not complying with the 32" minimum.	Provide a door opening with a minimum width of 32" and replace door with appropriate width.	\$1,000	1
Room 111, Kitchenette	Entrance door is 27", not complying with the 32" minimum.	Provide a door opening with a minimum width of 32" and replace door with appropriate width.	\$1,000	1
Accounting offices, rooms 102, 103, 104, 105	Door threshold has a change in elevation higher than 1/4", and surface is not continuous. Doorknob is not compliant.	Install a threshold ramp to provide a continuous floor surface.	\$200	1
Men's restroom 114	The required clear floor space is not provided. No grab bars are provided. Faucet handles are not lever operated. The bottom of the mirror is 44" above finish floor, whereas the maximum required is 40". Urinal is 24" above finish floor. Shelf is 60" above finish floor.	Provide grab bars at the back and side of toilet 33"-36" from floor and vertical grab bar 39"-41" from back wall. Relocate the mirror where the bottom of it is at 40" from the finished floor. Remove urinal to get clear floor space and to add appropriate length grab bars. Relocate shelf to a maximum height of 48" from the finish floor. Provide a faucet with lever handles and an ADA compliant sink.	\$3,000	1
Women's restroom 113	No vertical grab bar. Paper towel and soap dispenser mounted too high need to be a max. of 48"	Use this restroom as the public restroom. Move paper towel and soap dispenser to 44"-48" from floor. Add vertical grab bar.	\$200	1
Interior doors	Doorknobs not compliant to ADA standards	Update handles to have lever operated handles. (approximately 8 doors)	\$600	1
Total			\$8,200	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description:		Chalet Manor		
Location:		1601 Birch Kansas City, Kansas 66106		
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Ske - Ramp Leading to Community Center at the Administrative Office Building	There are segments of the ramp without any railing, or with railing at just one side. The ramp doesn't have a landing at the top. The handrail gripping surface doesn't have the required round area or corners. The top of the handrail is at 32" from finish floor, not meeting the required height (34" - 38"). The floor surface is not continuous. Refer to Figures 2.1, 2.2, 2.3	Replace the ramp.	\$8,000	1
Community Center	The exterior door threshold has a change in elevation higher than the 1/2" allowed. The doorknob requires twisting of the hand to operate.	Replace the doorknob to one with a lever handle. Fill the gap at the bottom of the door threshold.	\$200	1
Administrative Office - Main Entrance at Ground Level	The doorknob requires twisting of the hand to operate. The door threshold has a change in elevation greater than 1/2".	Replace the doorknob to one with a lever handle. Cut the concrete at the bottom of the threshold to provide a flat vertical surface. Install a threshold ramp to provide a continuous floor surface.	\$200	1
Administrative Office - Sidewalk Approaching the Main Entrance of Administrative Office	Exterior concrete slab surface is not continuous, there are changes in elevation greater than 1/4" and openings with gaps larger than 1/2" at the joint between the concrete slab and the asphalt pavement.	Fill gaps in the control joints with sealant to provide a continuous floor surface.	\$200	1
Administrative Office - Exterior/Interior doors	All doorknobs require hand twisting to operate.	All doorknobs should be changed for ADA compliant levers handles. (5 doors)	\$500	1
Administrative Office - Door from vestibule to managers office	The door does not comply with the maximum allowed 5 pound opening force.	Adjust the door to operate at the required maximum opening force of 5 lbs.	\$200	1
Administrative Office - Women's and Men's restrooms	The bottom edge of the mirrors is at 51", whereas the maximum elevation allowed is 40". The coat hooks are installed at 67" from finish floor, whereas the maximum elevation allowed is 48". Toilet is centered at 20" from the wall, whereas the maximum allowed is 16". There is no rear grab bar in the accessible toilet stall. Stalls do not have the minimum clear floor area required. The operations of the sink faucet required twisting of the wrist. No vertical grab bar. Refer to Figures 2.5 & 2.6	Remove or relocate partitions to allow minimum required clear floor space in toilet facilities. Remove urinal in Men's to relocate partition. Relocate toilet 16"-18" from side wall. Update grab bars to side and rear mounted at 36" from floor and add vertical mounted grab bars 39"-41" from back wall. Replace faucet to lever operated handles. Move mirrors to be 40" from floor. Relocate toilet paper dispensers to be on side wall with grab bars and 7'-9" from front of toilet.	\$2,000	1
Administrative Office - Staircase	The handrail does not have the required extensions at top or bottom. The top of the handrails 29", whereas the minimum elevation allowed is 32". The handrail gripping surface has square edges, whereas they are required to be round.	Provide ADA compliant handrails.	\$1,300	2
Administrative Office - Drinking Fountains	The required toe and knee clearances are not met. The water flow is below the minimum allowed.	Replace current water fountains and include one on the first floor.	\$5,000	3
Ske entrance	There is no accessible connection between the street sidewalk and the internal sidewalk to access the housing units.	Provide ADA compliant sidewalks to provide and accessible pathway from public way to the internal sidewalk system in order to access the residential units.	\$2,000	1
Ske - All Sidewalk Steps	Sidewalk steps are provided with handrails only on one side or do not have any handrails at all.	Provide ADA compliant handrails at the remaining side of all sidewalk steps. (Approximately 25)	\$21,000	1
Ske - Stair at the front entrance of each housing unit	The risers are frequently higher than the maximum allowed 7". There is either just one or no handrail provided. The height of the railings do not meet the required height range of 34" - 38". Handrails do not have the required extensions. The floor surface at the landing and risers is frequently broken and shows non-compliant openings and discontinuities. Refer to Figure 2.4	Provide ADA compliant handrails on every stair. Repair concrete steps and sidewalks to provide a continuous floor surface. (Approximately 60)	\$60,000	1

Site - Stair leading to the playground area	Railings are currently 40" above finish floor surface, whereas as the maximum elevation is 34". The handrails are not installed on both sides of the stair.	Adjust the handrails to have the gripping surface 34" to 38" from the finish floor. Provide handrails at both sides of the steps.	\$3,700	2
Site - Stairs at the east side of Birch St.	Risers are 8", whereas the maximum allow is 7". The handrail is installed just in one side of the stair and does not provide a handrail extension at the top and bottom of the stair.	Replace stairs.	\$10,600	2
Total			\$114,900	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description:		Cyrus Holaday		
Location:		1750 S. 37th 66106 Court Kansas City, Kansas		
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Women's Restroom at Community Center	Ambulatory restroom. Paper towel dispenser is at 51" from finish floor, whereas the maximum allowed is 48". The faucet operation requires wrist twisting.	Move paper towel dispenser to 44"-48" from the floor. Update faucet handles to be lever operated handles.	\$200	1
Men's Restroom at Community Center	The faucet operation requires wrist twisting. Paper towel dispenser is at 51" from finish floor, whereas the maximum allowed is 48". No vertical grab bar.	Move paper towel dispenser to 44"-48" from the floor. Update faucet handles to be lever operated handles. Add vertical grab bar 39"-41" from back wall.	\$200	1
Drinking fountain	The water fountain does not have the clear floor space required for a frontal approach. Refer to Figure 3.1	Relocate drinking fountain to where it is easily accessible to acquire the front approach in a wheelchair and has enough space on either side.	\$750	1
Handrail at Community Center stairs	The handrail extension does not meet the minimum length required of 12".	Add the required extensions with a minimum 12 length at the top and bottom of stairs.	\$500	3
Accessible ramp at the main entrance of the Community Center	The handrail extension does not meet the minimum length required of 12". The floor surface is not continuous at the bottom of the ramp.	Repair the concrete slab to provide a continuous floor surface. Add the required extensions with a minimum 12 length at the top and bottom of stairs.	\$1,000	3
Sidewalk in front of housing unit 1732	The floor surface in sidewalks is not flat or continuous.	Repair all gaps and changes in elevation on the concrete slab to provide a continuous floor surface.	\$1,000	1
Sidewalk in front of housing unit 1724	Handrail top surface is at 42" whereas the maximum required is 38". The handrail does not extend to the full light of the ramp. The handrail extension are shorter than 12".	Adjust the existing handrail to extend the entire length of the ramp, provide a gripping surface between 34" to 38" from finish floor, and provide the required 12" extensions at the top and bottom of the ramp.	\$1,100	3
Sidewalk in front of housing unit 1722	No hand railing is provided in the sidewalk steps.	Provide ADA compliant handrails at sidewalk steps.	\$1,600	3
All site sidewalk stairs	All stairs have handrails with no or only one handrail. The existing handrails are 42" tall from finish floor, whereas the maximum allowed is 34"	Provide ADA compliant handrails at the remaining side of sidewalk steps. Adjust the height of existing handrails to be between 34" to 38" from finish floor. (Approximately 6)	\$4,000	3
Total			\$10,350	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description:		Belrose Manor		
Location:		2924 W. 40th Ave. Kansas City, Kansas 66103		
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Site - Sidewalks approaching living units from parking spaces	Most sidewalk steps do not provide any handrail. Some of the handrails provided on sidewalk steps are only on one side and do not have the required extensions at the top and bottom.	Provide ADA compliant handrails at the remaining side of sidewalk steps. Adjust existing handrails to provide the required extensions at the top and bottom of stairs. (Approximately 18)	\$3,700	3
Site - Porch at the main entrance of residential units	The gripping surface on existing guardrails at the landing on main entrance on residential units does not comply with the shape requirement set by ADA guidelines.	Replace the gripping surface of existing guardrails to have round corners as required by ADA guidelines. (Approximately 5)	\$600	3
Site - Sidewalk steps approaching the entrance porch of residential units	The risers in the steps leading to the residential unit porches are frequently taller than 7". The handrails do not provide the required extensions at the bottom.	Replace Stairs. (Approximately 6)	\$10,500	3
Site - Parking Space of Residential Unit # 4024	The ramps that transition the parking space with the main entrance has a handrail only at one side.	Provide an ADA compliant handrail on the remaining side of the ramp.	\$1,700	2
Curb Ramp Approaching Main Entrance Door to Community Center	The curb ramp provided does not meet the slope and shape requirements.	Replace the existing curb ramp with one that complies with the slope and form requirements of ADA and does not project into the accessible parking aisle.	\$1,000	1
Restroom: Women's	No vertical grab bar. Paper towel and soap dispensers are too low at 34" & 38". Update locks on toilet partitions to not have a pinching lock. Coat hook on partition door is too high needs to be at least 44"-48". Faucet handles need to be lever operated handles.	Add vertical grab bar 39"-41" from back wall. Move paper towel and soap dispenser to be 44"-48" from floor. Update partition stall locks to be ADA compliant locks. Move coat hook to be 44"-48" from floor. Update faucet handles to be lever operated handles. *Current dispensers height can comply with children ADA standards if do not want to change due to the fact the space is also used as a daycare for children.	\$200	4
Restroom: Men's	No vertical grab bar. Paper towel and soap dispensers are too low at 36" & 42". Toilet paper dispenser location is too close to toilet needs to be 7'-9" from front of toilet. Coat hooks on back of partitions need to be 44"-48" high. Update locks on toilet partitions to not have a pinching lock.	Add vertical grab bar 39"-41" from back wall. Move paper towel and soap dispenser to be 44"-48" from floor. Update partition stall locks to be ADA compliant locks. Move coat hook to be 44"-48" from floor. Update faucet handles to be lever operated handles. Move toilet paper dispenser to be 7'-9" center line from front of toilet. *Current dispensers height can comply with children ADA standards if do not want to change due to the fact the space is also used as a daycare for children.	\$200	4
Total			\$17,500	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description:		Rosedale Towers		
Location:		2314 W. 39th 66103 Kansas City, Kansas 66103		
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Restroom: Women's	No clear floor space at toilet with paper towel dispenser and receptacle in way. Paper towel dispenser is too high at 61" needs to be 44"-48". Vertical grab bar needs to be added. Faucet needs to be updated to lever operated handles. Refer to Figure 4.2	Replace paper towel dispenser and receptacle with one that does not protrude in the 56"x60" clear floor space and that is 44"-48" from floor. Add vertical grab bar 39"-41" from back wall and toilet paper dispenser needs to be lowered to do so. Update faucet handles with lever operated handles.	\$400	1
Restroom: Men's	No clear floor space at toilet with paper towel dispenser and receptacle in way. Paper towel dispenser too high at 61" needs to be 44"-48". Vertical grab bar needs to be added. Current grab bars are at 35". Faucet needs to be updated to lever operated handles. Sink is too high at 37" needs to be a max of 34". Soap dispenser is too high at 51" needs to be a max of 48". Refer to Figure 4.2	Replace paper towel dispenser and receptacle with one that does not intrude in the 56"x60" clear floor space and that is 44"-48" from floor. Add vertical grab bar 39"-41" from back wall and toilet paper dispenser needs to be lowered to do so. Update faucet handles with lever operated handles. Move sink to be mounted at 34" from floor. Move soap dispenser to be 44"-48" from floor.	\$1,200	1
Interior doors	Door is 29" wide needs to be a min. of 32". Some doors do not have lever operated handles.	Enlarge doorway to min. 32" and update doors with lever operated handles. (2 doors)	\$2,000	1
Interior doors: Stair door exits	They are too heavy at 15 lbs. needs to be 5 lbs. max. Do not have lever operated handles.	Adjust doors to be 5 lbs or to have an accessible door opener button. Update doors to lever operated handles. (2 doors)	\$200	1
Interior corridors: Signage	Not ADA approved signage	Update signage to be ADA approved signage. (4-6)	\$200	1
Stairs/Emergency Stair	The gripping surface on handrails does not comply with the shape requirement set by ADA guidelines.	Replace the gripping surface of existing handrails.	\$2,500	3
Elevators	Residents say elevators stop occasionally. Braille is missing from certain floor buttons in elevator car interior. One of the elevators doesn't have audible signals, and the "Emergency" button is out of the accessible reach range (15"-54").	Provide Braille in all control buttons inside elevator cars, audible signals to one of the elevators, relocate the emergency button into the accessible reach range.	\$3,000	1
Main Entrance Door (South)	There is a gap at the bottom of the threshold larger than 1/2".	Fill the gap between the door threshold and the concrete topping to create a continuous floor surface.	\$200	1
Site - Sidewalk in Front of Main Entrance (South)	There are gaps larger than 1/2" at the floor surface between the asphalt pavement and the concrete sidewalk.	Fill the gaps with sealant to create a continuous floor surface.	\$200	1
Site - Outdoor seating area at the southwest side of the building	There is a step larger than 1/2" between the sidewalk and the seating area concrete slab.	Provide a ramped continuous surface at the edge of the concrete slab by using concrete filler or a threshold ramp.	\$200	1
Site - Handicapped Parking Spaces at the North Side of the Building	The floor markings on the handicapped parking spaces are worn off.	Re-paint the markings on the handicapped parking spaces. (Approximately 7)	\$200	1
Site - Curb Ramp in Front of the North Entrance	There is a gap at the bottom of the curb ramp, between the concrete slab and the asphalt pavement.	Fill the gap with sealant.	\$200	1
Site - North Parking Lot	The parking spaces in front of the sidewalk do not have a wheel stop, and car are parked over the space of the sidewalk. Refer to Figure 4.1	Provide Wheel stops. (Approximately 17)	\$3,400	1
East Emergency Exit Door	The door threshold has a change in elevation larger than 1/2". The sidewalk along the emergency exit door does not provide any curb ramp for people with disabilities to egress.	Fill the bottom of the threshold to provide a continuous ramped floor surface. Provide a curb ramp.	\$200	1
Total			\$14,100	

Housing Authority of Kansas City, Kansas - ADA Transition Plan Building Description: Douglas Heights Towers Location: 1742 S. 40th St 66106 Kansas City, Kansas				
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
SRe - Parking Lot	There is no marked area to go from accessible parking spaces into main entrance door.	Paint a marked area in the pavement as the route from accessible parking spaces to the building entrance.	\$500	1
SRe - Curb Ramp at the West Parking Lot	The curb ramp is directly facing a parking stall, preventing its appropriate use when the parking space is being used. The floor space in the pavement approaching the ramp is not continuous. The slope of the landing of the curb ramp is too high. Refer to Figure 5.1	Add curb ramp at aisle.	\$2,000	1
SRe - Concrete Slab in Front of West Entrance	The floor surface is not continuous due to cracks in the concrete surface and gaps in control joints.	Fill the gaps in the cracks and control joints of the concrete slab with sealant to provide a continuous surface.	\$200	1
Site - Sidewalk on the northeast corner of the building	The floor surface is not continuous due to cracks in the concrete surface and gaps in control joints.	Fill the gaps in the cracks and control joints of the concrete slab with sealant to provide a continuous surface.	\$200	1
Site - Bus Shelter	There is no curb ramp or accessible pathway from the street or building to the bus shelter.	Provide an ADA compliant curb ramp to access the bus stop.	\$200	1
Interior doors: Double doors to common area and office	Too heavy at 10 lbs to open needs to be 5 lbs. Common area doors they keep one door locked.	Make doors to these areas 5 lbs in weight and make sure all doors to public areas are unlocked.	\$200	1
Interior doors: Restrooms	No signage with Braille. Doors are 10 lbs. needs to be 5 lbs. Doors to private restrooms are 30" needs to be at least 32".	Adjust doors to be 5 lbs max weight and to be at least 32" wide. Add ADA approved signage. (2 doors)	\$2,000	1
Restroom: Men's public	One of the soap dispensers is mounted at 40" needs to be 44"-48". No vertical grab bar. Urinal is mounted at 20" the max is 17". No clear floor space in handicap stall of 56"x60" currently at 43"x71". Toilet from wall is 22" needs to be 16"-18". Partition locks to handicap stall require pinching to lock. Coat hook in handicap stall needs to be mounted at a max of 48".	Add vertical grab bar 39"-41" from back wall and toilet paper dispenser needs to be lowered 15" min. above floor to do so. Relocate urinal to be 17" max from floor. Relocate toilet to be 16"-18" from wall. Update locks to ADA approved standard partition locks. Make handicap stall the standard 60" width instead of the current 43". Coat hook in handicap stall needs to be 48" from floor.	\$1,500	3
Restroom: Women's public	One of the soap dispensers is mounted at 40" needs to be 44"-48". Vertical grab to be added. No clear floor space in handicap stall of 56"x60" currently 43"x71". Toilet paper dispenser is mounted too far from toilet needs to be at least 7"-9" from front of toilet. Update locks to handicap stall where pinching is not required to lock. Coat hook in handicap stall needs to be mounted at a max of 48".	Add vertical grab bar 39"-41" from back wall and toilet dispenser needs to be lowered 15" min above the floor to do so. Also relocate toilet dispenser 7"-9" from front of toilets. Relocate soap dispenser to 44"-48" from floor. Update locks to ADA approved standard partition locks. Coat hook in handicap stall needs to be 48" from floor.	\$200	3
Restroom: Men's single private	No grab bars. Soap dispenser is mounted at 50" needs to be 44"-48". Paper towel dispenser mounted at 40" needs to be 44"-48". No clear floor space with obstacles and area at 56"x55" needs to be 56"x60". Coat hook not mounted at a max of 48".	Add all three ADA standard grab bars 33"-36" from floor and 6"-12" from opposite wall, possibly need to move toilet paper dispenser to 15" min from floor. Mount vertical grab bar 39"-41" from back wall. Move sink 15" from side wall and other sink accessories over to get 60" width min. for wheelchair access. Relocate soap dispenser and paper towel dispenser to 44"-48" from floor. Relocate coat hook to 48" max from floor.	\$2,000	3
Restroom: Women's single private	Paper towel dispenser is mounted at 41" needs to be 44"-48". No grab bars and wall not flush to mount side grab bar. No clear floor space with obstacles and area needs to be 56"x60". Coat hooks need to be mounted at a max of 48".	Mount grab bars 33"-36" from floor and 6"-12" from opposite wall, possibly need to move toilet paper dispenser to 15" min from floor. Then mount vertical grab bar 39"-41" from back wall. Remove obstacle in restroom and relocate sink and other sink accessories to get 60" min width for wheelchair access. Relocate paper towel dispenser to 44"-48" from floor. Relocate coat hook to 48" max from floor.	\$2,000	3
Drinking fountain	Mounted at 32" at spout needs to be 36".	Relocate drinking fountain to be 36" from floor to spout.	\$750	3
Elevators	The audible signal is too low to be recognized. Some of the bottoms in the control panel did not have the tactile and Braille signage.	Repair the audible signals. Provide tactile and Braille on all control bottom at elevator cars.	\$5,000	1

Interior/Emergency Stairs	First two stair risers not same or continuous with one being 7" and other 8". No handrail extension. The headroom beneath the underside of the staircase is below the minimum 80". On the south emergency stairs the door cannot open completely because of a heating equipment located behind the door.	Provide a cane rail beneath the staircase. Install handrail extension as required. Relocate the heating equipment from behind the door.	\$1,000	4
Total			\$17,750	



Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description: Douglas Heights Scattered Sites				
Location: 4108 Lawrence Dr. 66106 Kansas City, Kansas				
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Site - Stairs West and North of the Community Center	The handrail is only provided at one side of the stair. The gripping surface in the handrail does not comply with the cross section requirements of ADA. The handrail does not provide the required extensions at top and bottom of stair flights.	Provide an ADA compliant on the remaining side of the stair. Replace the gripping surface on the existing handrail and install the required extensions at the top and bottom of the stairs.	\$2,600	3
Site - Sidewalk South-East of the Community Center	The floor surface is not flat and has opening gaps in the control joints.	Fill control joints to provide a continuous surface. Replace the concrete sidewalk where the slab has settled to provide a flat floor surface.	\$200	1
Site - Sidewalk Approaching the Stairs and the North of the Community Center	The 3' minimum width of the accessible pathway is interrupted by storm drain catch basins. Refer to Figure 6.1	Fix the top of the catch basins and the concrete fill around to provide a continuous floor surface in the sidewalk.	\$500	1
Community Center Main Entrance Door	The door threshold has a change of elevation higher than 1/2"	Provide a ramped floor surface at the bottom of the threshold by using sealant.	\$200	1
Restroom: Men's	Mirror at 51" needs to be at 40" and another added over other sink. One of the paper towel dispensers is at 39" needs to be 44"-48". Soap dispenser is at 40" needs to be 44"-48". Exposed piping under sink needs to be covered. Toilet with no partition door is not center. No clear floor space of 56" x 60" currently 38" x 71". Grab bars need to be updated to wheelchair accessible bars. Toilet paper dispenser is too close to toilet needs to be 7"-9" from front of toilet. Faucet needs to be updated to have lever operated handles. Coat hooks need to be mounted at a max of 48". Partition locks are not ADA approved standards require pinching. Refer to Figure 6.2	Remove one toilet to be able to have standard ADA handicap stall with 56" x 60" min wheelchair access and grab bars mounted at ADA approved heights as wheelchair accessible bars. Add mirror over one sink and lower the other mirror to be 40" from the floor. Relocate one paper towel dispenser and soap dispenser to be 44"-48" from floor or get rid of it and use other that is at the proper height. Cover exposed piping that is under sink with under-lavatory protector. Relocate toilet paper dispenser to be 7"-9" from front of toilet on side wall. Add coat hook for handicap stall needs to be 48" max from floor. Update partition locks to be ADA approved standards. *Current dispensers height can comply with children ADA standards if do not want to change due to the fact the space is also used as a daycare for children.	\$2,000	3
Restroom: Women's	Mirrors are at 52" needs to be 40" and one does not center over sink. One of the paper towel dispensers is at 40" needs to be 44"-48". Soap dispensers mounted at 40" and 42" needs to be 44"-48". Exposed piping under sink needs to be covered. Vertical grab bar needs to be added. Partition door of handicap stall to where they do not enter by the sinks. Toilet paper dispenser is too close to toilet needs to be 7"-9" from front of toilet. One of the lever handles on faucet of sink is missing. Coat hooks need to be mounted at a max of 48". Partition locks require pinching not ADA approved. Refer to Figures 6.3 & 6.4	Relocate mirrors to be 40" from floor and have one center over sink, possibly need to move sink accessories to have this done. Relocate paper towel and soap dispensers to be 44"-48" from floor. Cover exposed piping under sink with under-lavatory protector. Add vertical grab bar to side wall (partition) and have it 39"-41" from back wall. Toilet paper dispenser to be relocated 7"-9" from front of toilet. Replace/add lever operated handles on one of the sinks. Coat hook in handicap stall to be 48" from floor. Update partition locks to be ADA approved standards. Replace handicap partition with correct door location. *Current dispensers height can comply with children ADA standards if do not want to change due to the fact the space is also used as a daycare for children.	\$3,000	1
Drinking Fountain	Spout height mounted at 30" needs to be 36".	Relocate drinking fountain to 36" from floor to spout.	\$800	3
Site - Landings in front of Residential Units Main Entrance	Some stairs on unit entrances do not have any handrails. Stair handrails need to have 12" extension along flat surface. Existing handrails are at 40" from finish floor. Floor surface at the top of stairs need to be flat/continuous. Some Step risers are higher than 7".	Provide handrails at 34"-38" from finish floor with required extensions at all stairs. Fix all step risers at 7". Fix concrete slab at the top of stairs to provide a flat and continuous surface.	\$3,000	1
Site - Sidewalks in Residential Area	Sidewalk floor surface is not continuous or flat.	Fill concrete control joints or repair concrete slabs. (Approximately 15 repairs)	\$300	1
Total			\$12,600	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description:		Westgate Towers		
Location:		6100 Leavenworth Rd. 66104 Kansas City, Kansas		
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Site - Curb Ramp In Front of Main Entrance Doors	No bottom landing is provided. The floor surface in the ramp is discontinuous.	Provide a landing at the bottom of the curb ramp compliant with the ADA size requirements. Repair the concrete top surface to provide a continuous floor surface.	\$500	1
Site - Parking Lot - Accessible Parking	Accessible Parking Markings are not visible, and the color coding is incorrect. No marked crossing is provided to go from the accessible parking into main entrance door. Across the vehicular lane. One of the Accessible Parking Spaces Access Aisle is 48" wide, whereas the required minimum is 60".	Re-paint the handicapped parking markings. Paint the asphalt pavement to mark an accessible pathway between handicapped parking spaces and the building entrance. Adjust the parking stall layout to provide accessible aisle with a minimum width of 60".	\$200	1
Site - Curb Ramp at the Southwest Corner of Parking Lot	The floor surface is curved. No top or bottom landing is provided. The floor surface is discontinuous.	Repair or replace the concrete slab to provide a straight and continuous floor surface. Provide the required ramp landings.	\$400	1
Site - The South Emergency Exit	The doors opens out to a landing that is not flat. The landing has a step higher than the maximum allowed of 7" with no handrail.	Repair or replace the concrete slab to provide a straight and continuous floor surface. Provide steps with a riser height between 4" to 7".	\$400	3
Site - Recreational Area at the West Side of the Building	There is no accessible pathway from the building to the recreational area.	Provide a curb ramp and sidewalk to the recreational area.	\$2,500	1
Interior doors	All doors need to have updated lever operated handles and not doorknobs for twisting. Doors too heavy at 10-15lbs need to be 5lbs.	Update doors to have lever operated handles and to be 5lbs max in weight. (approximately 10 doors)	\$1,700	1
Restroom: Men's	Paper towel dispenser is mounted at 50" needs to be 44"-48". Faucets need to be updated to have lever-operated handles. Obstacles in way of clear floor space. Sink is mounted at 35" needs to be at 34". Vertical grab bar needs to be added.	Add vertical grab bar 39"-41" from back wall. Update faucets to have lever operated handles. Move trash can or get smaller trash can to have clear floor space. Relocate sink to be 34" max from floor.	\$2,000	1
Restroom: Women's	Vertical grab bar to be added. Toilet paper dispenser too close to toilet needs to be 7"-9" from front of toilet. Obstacles in way of clear floor space.	Add vertical grab bar 39"-41" from back wall. Move toilet paper dispenser to be 7"-9" from front of toilet. Move trash can or get smaller trash can to have clear floor space.	\$200	3
Drinking fountain	Spout height at 35" needs to be 36". In laundry room across from restroom.	Relocate drinking fountain to 36" from floor to spout. Possibly move drinking fountain to hallway to be easily accessible to public or add one to the hallway.	\$2,000	3
Elevators	No audible signals are provided at hallway. The tactile and Braille signs at the control panels are not located at the left side of the bottoms.	Provide audible signals on all elevators, and tactile and Braille signs at the control panels located at the left side of the bottoms.	\$5,000	1
Interior / Emergency Stairs	There is a gap from the floor to the tread at the bottom on the stair. Handrail shape is not compliant. There is no extension, and the railing is not continuous. The railing is at 32" in height should be 34"-38".	Cover gap or close riser to bottom of stair. Replace handrail compliant shape surface, to be continuous and to be 34"-38" in height.	\$1,350	3
Total			\$16,250	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description: St. Margaret's Park				
Location: 350 Perry Square 66101 Kansas City, Kansas				
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Manager's Office	The main entrance door to the manager's office and the maintenance shop has a step right in the door threshold of 5"	Install a ramp to provide a continuous floor surface at the door threshold. (1 door)	\$500	1
Manager's Office Interior Doors	The door opening to go from the manager's office to the restrooms and the maintenance shop is 28" wide. Door handles do not have lever operated handles.	Widen door openings to a minimum of 32" and update doors to have lever operated handles. (4 doors)	\$1,500	1
Restroom	Not ADA accessible. Space of restroom is 53"x73". Obstacles (furnace and others) in pathway to get to restroom. Refer to Figure 7.2	Enlarge restroom to have the minimum 56"x 60" clear floor space for wheelchair and incorporate the standard ADA requirements for the restroom. Clear path to restroom as much as possible.	\$5,000	1
Community Center	The main entrance door has a threshold with a change in elevation larger than 1/2" and a gap with an opening larger than 1/2".	Fill the crack in the concrete slab to provide a continuous floor surface.	\$200	1
Sike - Sidewalks	There are opening gaps and changes in elevation larger than maximum 1/2" allowed on the control joints at the sidewalks.	Fill the gaps at the concrete control joints with sealant to provide a continuous floor surface.	\$500	1
Sike - Ramp at the South Side of the Community Center	The ramp at the south side of the community room has a slope of 10%, and no handrails. The floor surface at the bottom of the ramp is discontinuous. The ramp doesn't provide the required landings every 30' of rise in elevation. Refer to Figure 7.1	Replace the existing ramp with one complying with the slope and landing requirements and provide an ADA compliant handrail on both sides.	\$3,200	1
Interior Restroom Doors	Too heavy to open at 10-15 lbs must be at least 5lbs.	Update doors to be 5lbs max in weight. (2 doors)	\$200	1
Restroom Women's	No ADA approved signage. Mirror is at 38" should be 40" from the floor to the bottom of the frame. Add vertical grab bar. Grab bars need to be mounted 6"-12" from wall. Clear floor space is currently not wide enough at 46" wide needs to be 60". Toilet paper dispenser to be 7"-9" from front of toilet. Toilet not 16"-18" from wall.	Add ADA approved signage. Relocate mirror to be 40" from floor. Add vertical grab bar to be 39"-41" from back wall. Relocate grab bars to be 6"-12" from opposite walls. Relocate sink 15" from wall to have bigger clear floor space. Relocate toilet paper dispenser to be 7"-9" from front of toilet.	\$2,000	3
Restroom Men's	No ADA approved signage. Sink is at 35" from floor needs to be 34" max. Soap dispenser is at 37" must be 44"-48" from floor. Paper towel dispenser is at 49" from floor must be 44"-48". Move toilet paper dispenser must be 7"-9" from front of toilet. Mirror is at 38" from floor must be 40". Grab bars not 6"-12" from opposite walls. Exposed piping under sink. An obstacle of the air vent in the clear 30"x 48" space for approaching sink.	Add ADA approved signage. Relocate mirror to be 40" from floor. Add vertical grab bar to be 39"-41" from back wall. Relocate grab bars to be 6"-12" from opposite walls. Relocate sink to be 34" max from floor. Relocate soap and paper towel dispensers to be 44"-48" from floor. Relocate toilet paper dispenser to be 7"-9" from front of toilet. Cover exposed piping under sink with under-lavatory protector. Possibly need to move floor air vent to get clear floor space for front approach of sink.	\$2,000	3
Drinking fountains	Both upstairs and downstairs drinking fountains not ADA accessible with being too high and no knee space.	Replace with barrier free drinking fountains mounted at 36" from floor to spout.	\$2,000	1
Community Center - Classroom Basement	The Southeast exit door leads to stairs with handrails that do not meet the required extensions, gripping surface, and do not cover all steps of stairs.	Replace the existing handrail with one compliant with ADA requirements.	\$1,800	3
Community Center - Classroom Basement	The handrail in the interior stair that leads to the basement is 40" from the finish floor to the top of the gripping surface, whereas the required maximum is 34". The handrail does not provide the required extensions at the top and bottom of the stair, and the gripping surface has a square profile.	Replace the gripping surface in the handrail so that it matches the shape requirements of ADA and is 34" to 38" from the finish floor. Add the required extensions at the top and bottom of the stair.	\$800	3

Basement Restroom Girls'	No ADA approved signage. Toilet seat is too short at 16" must be 17"-19". No grab bars in restroom. Soap dispensers are at 31"-40" must be at least 44"-48". Mirror mounted at 48" from floor must be a max of 40". Paper towel dispenser mounted at 50" must be 44"-48". Move toilet paper dispenser to 7"-9" center from front of toilet. Faucet handles not lever operated handles. Exposed piping should be covered.	Add ADA approved signage. Replace toilet with toilet seat 17"-19" from floor. Add grab bars 33"-35" from floor and 6"-12" from opposite walls. Relocate soap and paper towel dispenser to be mounted at 44"-48" from floor. Relocate mirror to be 40" from floor. Relocate toilet paper dispenser to be 7"-9" from front of toilet. Update faucet handles to be lever operated handles. Cover exposed piping under sink with under-lavatory protector. *Current dispensers height can comply with children ADA standards if do not want to change due to the fact the space is also used as a daycare for children.	\$2,600	4
Basement Restroom Boys'	No ADA approved signage. Toilet seat is too short at 16" must be 17"-19". No grab bars in restroom. Soap dispensers are at 31"-40" must be at least 44"-48". Mirror mounted at 48" from floor must be a max of 40". Paper towel dispenser mounted at 50" must be 44"-48". Move toilet paper dispenser to 7"-9" center from front of toilet. Update faucet handles to lever operated handles. Exposed piping should be covered.	Add ADA approved signage. Replace toilet with toilet seat 17"-19" from floor. Add grab bars 33"-35" from floor and 6"-12" from opposite walls. Relocate soap and paper towel dispenser to be mounted at 44"-48" from floor. Relocate mirror to be 40" from floor. Relocate toilet paper dispenser to be 7"-9" from front of toilet. Update faucet handles to be lever operated handles. Cover exposed piping under sink with under lavatory protector. *Current dispensers height can comply with children ADA standards if do not want to change due to the fact the space is also used as a daycare for children.	\$2,600	4
Site - Hand-capped Parking Spaces	All curb ramps provided between handicapped parking spaces and sidewalks do not provide a continuous surface, and slopes are higher than 8%. Some of the handicapped parking spaces do not provide a curb ramp to go from the parking aisle to the sidewalk.	Replace the curb ramps. (Approximately 6)	\$1,200	1
Site - Hand-capped Parking Spaces	The parallel handicapped parking spaces at the west side of Perry Square St. do not provide the required aisle along the parking stall for the safe passenger loading and offloading.	Provide the required accessible aisle at all hand-capped parking spaces. (Approximately 10)	\$2,000	3
Site - Hand-capped Parking Spaces	Parking stalls are not marked with the required sign in front, current floor marking are worn off, and are not color blue.	Provide the required signage for handicapped reserved parking. Re-paint the markings on handicapped parking spaces. (Approximately 12)	\$5,000	1
Total:			\$33,100	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description: Bethany Park Towers				
Location: 1131 Central Ave. 66102 Kansas City, Kansas				
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Interior Restroom Doors	Too heavy to push at 10-15 lbs should be 5 lbs.	Update doors to be 5 lbs max in weight. (2 doors)	\$200	1
Main Floor Restroom Women's	Handicap stall toilet is 15" from wall should be 16"-18". Toilet paper dispenser and napkin disposal too far of a reach and toilet paper dispenser not 7"-9" from front of toilet. Add vertical grab bar and remove bar from toilet partition. Paper towel dispenser is mounted 41" should be 44"-48". Soap dispenser is at 43" should be 44"-48". One of the mirrors is at 48" the max is at 40". Exposed piping should be covered.	Relocate toilet in handicap stall to be 16"-18" center from side wall. Relocate toilet paper dispenser and napkin disposal to other side of stall and have toilet paper dispenser be 7"-9" from front of toilet. Add vertical grab bar 39"-41" from back wall and remove grab bar on stall. Relocate soap and paper towel dispenser to be 44"-48" from floor. Relocate mirror to be 40" from floor to bottom of frame. Cover exposed piping under sink with under-lavatory protector.	\$2,000	3
Main Floor Restroom Men's	Sink is at 36" the max is 34". Toilet seat height is at 14 1/2" should be 17"-19". Toilet paper dispenser not 7"-9" from front of toilet. No vertical grab bar.	Relocate sink to be 34" max from floor to top of rim. Replace toilet with seat height from floor to be 17"-19" and 16"-18" from wall. Relocate toilet paper dispenser to be 7"-9" from front of toilet. Add vertical grab bar 39"-41" from back wall.	\$1,500	3
Downstairs Restroom Women's	Exposed piping under sinks should be covered. Paper towel dispenser is at 40" should be 44"-48". Soap dispenser is currently at 40" should be 44"-48". Toilet paper dispenser not 7"-9" from front of toilet. No vertical grab bar. Partition locks not ADA approved locks. Coat hook in handicap stall is too high the max is 48" from floor. ADA signage not on flush wall.	Move signage to wall and not in doorway frame. Cover exposed piping under sink with under-lavatory protector. Relocate paper towel and soap dispensers to be 44"-48" from floor. Relocate toilet paper dispenser 7"-9" from front of toilet. Add vertical grab bar 39"-41" from back wall. Update partition locks to be ADA approved locks. Coat hook in handicap stall to be 48" max from floor.	\$400	3
Downstairs Restroom Men's	Exposed piping under sink should be covered. Paper towel dispenser is at 40" should be 44"-48". Soap dispenser is mounted at 42" should be at 44"-48". One of the mirrors is at 49" the max should be 40" from floor. No vertical grab bar. Toilet paper dispenser not 7"-9" from front of toilet. Partition locks not ADA approved locks. Coat hook in handicap stall is too high should be 48" max.	Cover exposed piping under sink with under-lavatory protector. Relocate paper towel and soap dispensers at 44"-48" from floor. Relocate mirror to be 40" from floor to bottom of frame. Add vertical grab bar 39"-41" from back wall. Relocate toilet paper dispenser 7"-9" from front of toilet. Update partition locks to be ADA approved locks. Relocate coat hook in handicap stall to be 48" max from floor.	\$400	3
Elevators	Exterior floor hall number is mounted at 57" should be 60".	Relocate the floor hall number.	N/A	3
Interior/ Emergency Stairs	Handrail too high at 39".	Replace/ relocate handrail to be 34"-38" high.	\$1,500	3
SRe - Sidewalk in Front of Main Entrance	There are gaps and cracks in the concrete control joints.	Fill all gaps with sealant and repair all cracks in concrete slab.	\$200	
SRe - Handicap Parking Space in Front of Main Entrance	No curb ramp is provided to go from the accessible aisle in the handicap parking space in front of the main entrance into the sidewalk.	Provide a Curb ramp from accessible aisle of handicapped parking into the sidewalk.	\$1,500	
SRe - Parking Lot	No floor marking are provided on traffic lane between the handicap parking spaces and the building main entrance.	Paint the proper marking lines in pavement.	\$200	
SRe - Ramp in Front of Main Entrance	There are gaps at the concrete control joints.	Fill gaps with sealant.	\$200	
Total			\$8,100	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description: Juniper Gardens				
Location: 1980 N. 2nd St. 66101 Kansas City, Kansas				
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Interior doors	Doors do not have lever operated handles.	Updated door handles to lever operated handles. (2 doors)	\$300	1
Office Restroom doors	Not wide enough at 29" need to be a minimum of 32".	Enlarge doorway and replace door with 32" min. wide door. (2 doors)	\$2,000	1
Office Restroom	No ADA approved signage. Piping exposed under sink needs to be covered. Paper towel dispenser is at 58" should be 44"-48". Mirror at 58" should be 40" from the floor. No grab bars. Toilet paper dispenser to be moved 7"-9" from front of toilet. Faucet handles do not have lever operated handles. Sink not 15" center from wall.	Update signage to ADA approved signage. Cover piping under sink with under-lavatory protector. Relocate paper towel dispenser 44"-48" from floor. Relocate mirror to be 40" from floor to bottom of frame. Add wheelchair accessible grab bars at 33"-36" from floor and 6"-12" from opposite walls. Add vertical grab bar 39"-41" from back wall. Update faucet handles to lever operated handles. Relocate sink and other sink accessories to 15" center from wall.	\$2,000	1
Staff Restroom	No ADA approved signage. Piping exposed under sink needs to be covered. Paper towel dispenser is at 58" should be 44"-48". Mirror at 58" should be 40" from the floor. Soap at 41" should be 44"-48". No grab bars. Current space is 59"x96".	Add ADA approved signage. Cover exposed piping under sink with under-lavatory protector. Relocate paper towel and soap dispensers to be 44"-48" from floor. Relocate mirror to be 40" from floor to bottom of frame. Add ADA standard length grab bars 33"-36" from floor and 6"-12" from opposite walls. Add vertical grab bar 39"-41" from back wall.	\$400	1
Restroom Women's	No ADA approved signage. Grab bars not mounted 6"-12" from opposite wall. No vertical grab bar. Sink not 15" center from wall currently 28" center. Toilet is 19" center from wall needs to be 16"-18". Move napkin disposal on side wall with toilet paper dispenser. Toilet paper dispenser to be moved 7"-9" from front of toilet. Paper towel dispenser is mounted over grab bar in clear space. Current clear floor space is at 41" (to sink) x 90" should be 56"x60". Refer to Figure 8.2	Add ADA approved signage. Relocate grab bars to be 6"-12" from opposite walls. Add vertical grab bar to be 39"-41" from back wall. Relocate sink to be 15" center from wall along with sink accessories and have them 44"-48" from floor. Relocate napkin dispenser to be on side wall with toilet paper dispenser. Toilet needs to be relocated 16"-18" center from side wall instead of 19".	\$1,500	3
Restroom Men's	No ADA approved signage. Grab bars not mounted 6"-12" from opposite wall. No vertical grab bar. Sink not 16" center from wall currently 28" center. Toilet is 20" center from wall needs to be 16"-18". Paper towel dispenser is at 41" should be 44"-48" and mounted over grab bar. Soap dispenser is at 38" should be 44"-48". Mirror is at 41" from floor should be 40". Current clear space is at 41" (to sink) x 90" should be 56" x 60". Exposed piping under sink should be covered. Update faucet handles to lever operated handles. Refer to Figure 8.3	Add ADA approved signage. Relocate grab bars to be 6"-12" from opposite walls. Add vertical grab bar to be 39"-41" from back wall. Relocate sink to be 15" center from wall along with sink accessories mounted at 44"-48" from floor. Relocate toilet to be 16"-18" center from side wall instead of 20". Relocate mirror to be 40" from floor to bottom of frame. Cover exposed piping under sink with under-lavatory protector. Update faucet handles to be lever operated handles.	\$1,700	1
Drinking fountains	Downstairs/Office fountain is currently at 32" should be 36". Upstairs/community fountain has weak water flow.	Relocate downstairs drinking fountain to 36" from floor to spout. Possibly replace upstairs drinking fountain to have better water flow.	\$3,000	3
Community Center Restroom Women's	No ADA approved signage. Soap dispenser is at 40" should be 44"-48". Paper towel dispenser is at 41" should be at 44"-48". Update faucet handles to lever operated handles. Coat hook in handicap stall too high should be a max of 48". Update partition locks to ADA approved locks. Current clear space in handicap stall is at 48"x85" should be 56"x60". No vertical grab bar. Side grab bar currently 50" due to windows. Toilet accessories in handicap stall on opposite side of side grab bar.	Add ADA approved signage. Relocate paper towel and soap dispensers to be 44"-48" from floor. Update faucet handles to be lever operated. Relocate coat hook in handicap stall to be 48" max from floor. Add vertical grab bar 39"-41" from back wall. Update partition locks to be ADA approved. Relocate toilet paper dispenser and napkin disposal to wall with side grab bar and mounted 7"-9" from front of toilet.	\$400	1

Community Center Restroom Men's	No ADA approved signage. Soap dispenser is at 41" should be 44"-48". Paper towel dispenser is at 41" should be at 44"-48". Toilet is 19" center from wall should be 16"-18". Update faucet handles to lever operated handles. Update partition locks to ADA approved locks. Current clear floor space in handicap stall is at 48"x83" should be 56"x60". Toilet paper dispenser not of wall w/ side grab bar.	Add ADA approved signage. Relocate paper towel and soap dispensers to be 44"-48" from floor. Relocate toilet in handicap stall to be 16"-18" from side wall. Update faucet handles to be lever operated. Update partition locks to be ADA approved locks. Relocate toilet paper dispenser to wall with side grab bar and mounted 7'-9" from front of toilet.	\$1,000	3
Site - Curb Ramp in front of Managers' Office Entrance	The ramp slope is 11.6%, whereas the maximum allowed is 8.3%. The floor surface at the bottom is discontinuous.	Replace the curb ramp with one that has a slope between 5% and 8.3%. Provide a continuous floor surface on the ramp.	\$2,000	1
Site - Stairs at the North Side of The Manager's Office Building	The handrail doesn't cover all steps in the stair. The required railing extensions are not provided. A handrail is only provided at one side of the stair. Refer to Figure 8.4	Extend the existing handrail through the entire length of the stair and provide the required extensions at the top and bottom of the stairs. Install an ADA compliant handrail at the remaining side of the stair.	\$12,000	1
Site - Stairs at the South Side of The Manager's Office Building leading to the Community Center Entrance	Some risers are more than 7" tall. One of the handrails is more than the maximum 38" allowed from finished floor. No handrails extensions are provided at top or bottom.	Fix all step risers to be 7" maximum. Adjust existing handrails to be 38" maximum from finish floor and provide the required handrail extensions at the top and bottom of the stairs.	\$9,000	1
Site - Exterior Slab in front of the Community Center Main Entrance	The floor surface is not continuous, having gaps and elevation changed larger than 2".	Fill gaps and fix the concrete slab to provide a continuous floor surface.	\$200	1
Site - Sidewalk steps across the site	Some sidewalk steps do not have any handrails, other have a handrail only at one side. The gripping surface in handrails do not have a round sectional shape as required.	Add the required handrail extensions at the top and bottom of stairs. Replace the existing gripping surface with one compliant with ADA requirements. (Approximately 40 rails needed new, 30 rails needed to be adjusted)	\$15,000	3
Site - Sidewalks across the site	The floor surface is discontinuous where storm water drainage systems are located within the sidewalk itself. Many concrete slabs are broken or have settled down given to ground conditions or trees nearby. Many of the sidewalks that serve to approach the individual residential units are discontinuous. Refer to Figure 8.1	Fix the top of storm water drains and concrete top of slab to provide continuous surface on the sidewalk where storm water equipment is located within the required accessible pathway of the sidewalk. Fix sidewalk concrete slabs that have settled or displaced by nearby trees. (Approximately 9)	\$4,900	1
Site - Sidewalk Ramps Approaching the Residential Unit Entrances in Stewart Ave.	Some of the Ramps have a slope between 8% to 15%, whereas the maximum allowed is 8%.	Replace existing ramps with ones that provide the maximum allowed floor slope of 8%. (Approximately 4)	\$1,900	1
Manager's Office	The door threshold in the main entrance has a change in elevation larger than the maximum allowed of 1/2".	Install a ramp to provide a continuous surface at the bottom of the threshold.	\$200	1
Site - Sidewalk in front the Manager's Office Main Entrance Door	The floor surface of the concrete slab is discontinuous or broken and often not flat.	Fill or fix existing concrete top of slab to provide a continuous floor surface.	\$200	1
Community Center at 3rd St	The door threshold in the main entrance has a change in elevation larger than the maximum allowed of 1/2".	Install a threshold ramp at the bottom of threshold to provide a continuous floor surface.	\$200	1
Total			\$57,500	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description:		Plaza Towers		
Location:		1200 N. 75th Place 66112 Kansas City, Kansas		
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Interior doors	Some interior doors are too heavy to open, particularly the one's going to the stairwell. Should be 5lbs max. No lever-operated handles.	Update doors to be 5lbs max and to have lever-operated handles. (approximately 5 doors/ 2 doors for handle updates)	\$400	1
Drinking fountain	Drinking fountain spout at 41" needs to be 36" max. Weak water flow 4" arch. No drink fountain on second floor near restrooms.	Relocate/replace drinking fountain to be 36" from floor to spout and to have better water flow. Add drinking fountain to upstairs/ second floor entrance since it is a public used space.	\$3,000	3
First Floor Restroom Women's	No vertical grab bar. Paper towel dispenser at 41" needs to be 44"-48". Soap dispenser is at 39" needs to be 44"-48". Mirror at 43" needs to be 40" from floor. Move toilet paper dispenser where it is 7'-9" center from front of toilet. Sink is 19" center from wall should be 15". No clear 56"x60" floor space obstacles in way.	Add vertical grab bar to be 39"-41" from back wall. Relocate paper towel and soap dispensers to be 44"-48" from floor. Relocate mirror to be 40" from floor to bottom of frame. Relocate toilet paper dispenser to be 7'-9" from front of toilet. Relocate sink to be 15" center from side wall along with sink accessories.	\$1,500	3
First Floor Restroom Men's	30" wide side grab bar should be 42". No vertical grab bar. Soap dispenser is 39" should be 44"-48". Paper towel dispenser is at 41" should be 44"-48". Mirror is mounted at 43" the max is 40" from floor. Move toilet paper dispenser to 7'-9" from front of toilet.	Add vertical grab bar to side wall 39"-41" from back wall. Relocate paper towel and soap dispenser to be 44"-48" from floor. Relocate mirror to be 40" from floor to frame. Relocate toilet paper dispenser to be 7'-9" from front of toilet.	\$200	3
Second Floor Women's	No grab bars. Soap dispenser is at 51" should be 44"-48". Paper towel dispenser is at 49" should be 44"-48". Sink not center at 15" from wall. Exposed piping under sink should be covered. Update faucet handles to lever-operated handles. Refer to Figure 9.1	Suggest switching the location of the sink and toilet, along with appropriate accessories mounted at ADA standard heights, to have clear floor space and acceptable length grab bars. Toilet to be 16"-18" from side wall. Sink to be 15" from side wall. Grab bars to be mounted 33"-36" from floor and 6"-12" from opposite walls. Cover exposed piping under sink with under-lavatory protector. Update faucet handles to be lever-operated.	\$4,000	1
Second Floor Men's	No grab bars. Paper towel dispenser is at 49" should be 44"-48". Update faucet handles to lever-operated handles. Toilet not 15" from side wall. Refer to Figure 9.1	Suggest switching the location of the sink and toilet, along with appropriate accessories mounted at ADA standard heights, to have clear floor space and acceptable length grab bars. Toilet to be 16"-18" from side wall. Sink to be 15" from side wall. Grab bars to be mounted 33"-36" from floor and 6"-12" from opposite walls. Relocate paper towel to be 44"-48" from floor. Faucet handles updated to be lever-operated.	\$4,000	1
Elevators	No Braille on interior elevator buttons. No ADA signage for elevator. Not all standard interior car button controls are provided. Exterior floor hall number is mounted at 58" should be 60". Gaps between the elevator car and the elevator landing are 1 1/2" and 1 3/4" the max is 1 1/4" Larger/handicap elevator shuts down every once in a while. Did not have emergency phone inside elevator cars. Refer to Figure 9.2	Add Braille to left side of buttons in interior of elevator. Add ADA signage for elevator. Add all elevator control buttons and to be up to ADA code.	\$5,000	1
Interior Stairs/ Emergency Exit	Hand railing not rounded but square. Handrail does not go back to connect to wall.	Update handrails to be rounded with 1 1/4" diameter. Have handrail be continuous and connect to wall.	\$1,500	3
Site - Curb Ramp in front of the Main Entrance	The floor surface at the bottom of the ramp is discontinuous at the joint between the pavement and the concrete slab.	Fill the gaps in the concrete surface to provide a continuous floor surface.	\$200	1

Site - Parking Lot	There is not a marked area for crossing the traffic lane between the accessible parking spaces and the main entrance.	Paint the asphalt pavement to mark an accessible pathway between handicapped parking spaces and the building entrance.	\$200	1
Site - Parking Lot - Handicap Parking Spaces	Parking stall markings are worn out and not clearly visible.	Re-paint the handicapped parking markings. (Approximately 15)	\$500	1
Site - Sidewalk in Front of Main Entrance and Two Recreational Areas at the Front Facade	The floor surface is discontinuous at concrete control joints.	Fill the gaps in the concrete control joints and cracks in the concrete top to provide a continuous floor surface.	\$200	1
Site - Curb Ramp at the Back Entrance to Ground Level	The floor surface at the edges of the concrete slab are broken and discontinuous.	Fill or fix the broken concrete slab at the edges. Remove excess of gravel and debris that might be a hazard in the walking area.	\$200	1
Site - Ramp Approaching Back Entrance to Ground Level	The handrail doesn't have the required clearance from the adjacent wall face. No extensions are provided at top or bottom of handrail.	Adjust the existing handrail to provide the required minimum clearance for the face of the wall. Add the required extension at the bottom of the ramp.	\$200	3
Site - Northwest Parking Lot	The floor surface at the pavement between the accessible parking spaces and the curb ramp leading the building entrance is not continuous.	Fix the cracks in the pavement surface to provide a continuous floor surface.	\$200	1
Site - Northwest Parking Lot - Accessible Parking Spaces	Parking stall markings are worn out and not clearly visible.	Re-paint the handicapped parking markings.	\$200	1
Total			\$21,500	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description: Glanville Towers				
Location: 730 Nebraska 66101 Kansas City, Kansas				
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Main Entrance Door	There is an opening at the outside of the door threshold larger than the 1/2".	Fill the gap using a sealant in order to provide a continuous floor surface.	\$200	1
Ramp Approaching the Main Entrance Door	The concrete floor surface is cracked and has openings larger than 1/2". There is a gap in the joint between the bottom of the concrete slab and the pavement.	Repair the cracks in the cracks in the concrete slab to provide a continuous floor surface. Fill the joint between the concrete ramp and the pavement using sealant.	\$200	1
Site - Parking Lot	There is no marked area for pedestrians coming from the accessible parking spaces to cross the vehicular lane and approach the main building entrance.	Provide a marked area for pedestrians coming from the accessible parking spaces to cross the vehicular lane and approach the main building entrance.	\$200	1
Site - Parking Lot	The curb ramp provided to cross from the parking lot to the main building entrance has a discontinuous floor surface, the floor slope is 10% whereas the maximum allowed is 8.3%, and the joint of the concrete slab and the asphalt pavement is discontinuous.	Replace the ramp with one with the correct floor slope of a maximum of 1:20. Provide a joint between the concrete slab and pavement at the bottom that features a continuous floor surface.	\$200	1
Site - Ramp from Main Building Entrance to Nebraska Ave.	The slope of the ramp varies and often exceeds the maximum allowed of 1:12. The floor surface is not continuous. A handrail is provided only at one side.	Provide a ramp compliant with the maximum slope allowed of 1:12. Provide ADA compliant handrail on both sides of ramp.	\$7,200	1
Site - Stairs from Main Building Entrance to Nebraska Ave.	The handrail does not cover the entire length of the stair, nor it has the required extensions at top and bottom of stair. The gripping surface shape of the handrail is not compliant. The top of the ramp to approach the stair has a gap opening larger than 1/2". Refer to Figure 10.1	Provide a handrail covering the entire length of the stair and with the required extensions at top and bottom. Replace the gripping surface for one compliant with ADA requirements.	\$600	1
Site - Recreational Area at the West Side of the Site	The entrance to the recreational is on a curb that does not have a compliant curb ramp.	Provide a compliant curb ramp to make and accessible entrance to the recreational area.	\$200	1
Men's Restroom	Paper towel dispensers is too high at 50". One of the mirrors is too high at 46". Soap dispenser is too high at 54". No vertical grab bar. Toilet paper dispenser is too far in front of toilet. Exposed piping under sink is not covered.	Relocate paper towel and soap dispensers to be 44"-48" from the floor. Relocate mirror to be 40" from floor to bottom of frame. Add vertical grab bar mounted 39"-41" from back wall. Relocate toilet paper dispenser to be 7"-9" from front of toilet. Cover exposed piping under sink with under-lavatory protector.	\$200	3
Women's Restroom	No ADA approved signage. Paper towel dispensers are too high at 50" & 52". One of the mirrors is too high at 44" from floor. Soap dispenser too high at 51". Current grab bars in handicap stall are not standard lengths. No vertical grab bar. Exposed piping under sink is not covered. Toilet paper is too close to front of toilet. Wainscot along where toilets are located does not expand whole length of wall.	Add ADA approved signage. Relocate paper towel and soap dispensers to 44"-48" from floor. Relocate one of the mirrors to 40" from floor to the bottom of the frame. Replace grab bars with ADA standard handicap grab bars of 35" in back and 42" on side mounted 33"-36" from floor. Add vertical grab bar 39"-41" from back wall. Relocate toilet paper dispenser to be 7"-9" from front of toilet. Cover exposed piping under sink with under-lavatory protector.	\$200	3
Interior doors	Some doors too heavy to open. Max weight should be 5lbs. Some doors do not have lever operated handles.	Update doors to be 5lbs max. Update handles to have lever operated handles. (approximately 10 doors/ 2 for handle update)	\$200	1
Exterior Double Doors to Patio	Double doors heading to outside patio from dining room does not have push button to open it.	Add ADA push button to double exterior doors to patio.	\$200	1
Elevators	No ADA signage for elevators.	Add ADA approved signage for elevator mounted at 60" from floor.	\$200	1
Total			\$9,800	

Housing Authority of Kansas City, Kansas - ADA Transition Plan				
Building Description: Grandview Park Manor				
Location: 1240 Ray 66102 Kansas City, Kansas				
Non-Compliant Location	Description	Recommended Correction	Estimated Cost	Priority
Site - Sidewalks Steps	Handrails are provided only on one side of the steps. The gripping surface of existing handrails is at 40" above finish floor.	Provide compliant handrails on both sides of stairs. Adjust the handrail to provide a gripping surface between 34" to 38" above finish floor. (Adjust 8 handrails, add 12 handrails)	\$5,000	3
Site - Sidewalks	Floor surface is discontinuous at control joints. Storm water drain channels interrupt the sidewalk. Refer to Figure 11.1	Fill the concrete control joints with sealant. Install covers to the storm water drain channels that provide a continuous flat surface.	\$500	1
Site - Sidewalk Steps in Front of Housing Unit 362	Steps are not flat. No handrail is provided.	Replace stairs and provide compliant handrails.	\$1,000	1
Site - Accessible Parking	No standard signage is provided, or blue floor marking are provided. The floor surface in the accessible aisles along the parking spaces is not flat/continuous. No curb ramp at the accessible aisle is provided.	Provide standard signage, floor markings in all accessible parking. Provide curb ramps at accessible aisles. Repair floor surface at accessible aisles. (Approximately 4)	\$500	1
Total			\$7,000	

Housing Authority of Kansas City, Kansas - ADA Transition Plan

Building Description:

Wyandotte Towers

Location:

915 Washington Blvd. Kansas City, Kansas

Figure 1.1 Handrails at Emergency stair in Room 172



Figure 1.4 Paper towel receptacle in clear floor space Women's Restroom Room 167

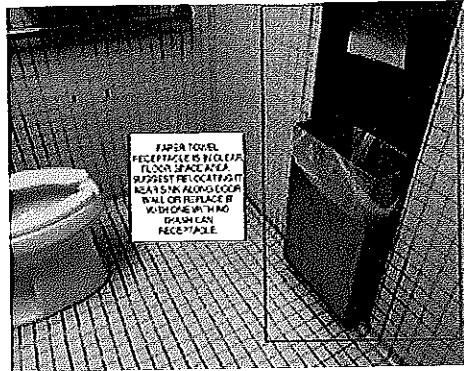


Figure 1.2 Gap Opening at Rubber Entrance Mat in Room 130

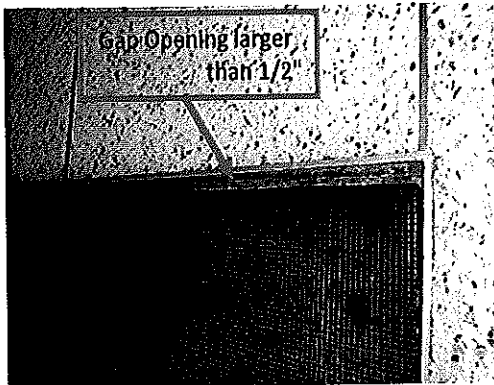
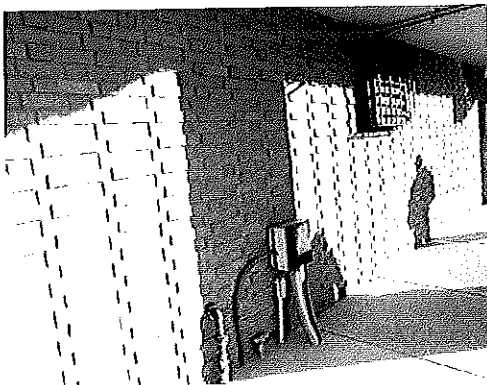


Figure 1.3 Objects protruding more than 4" from the face of the wall



Housing Authority of Kansas City, Kansas - ADA Transition Plan

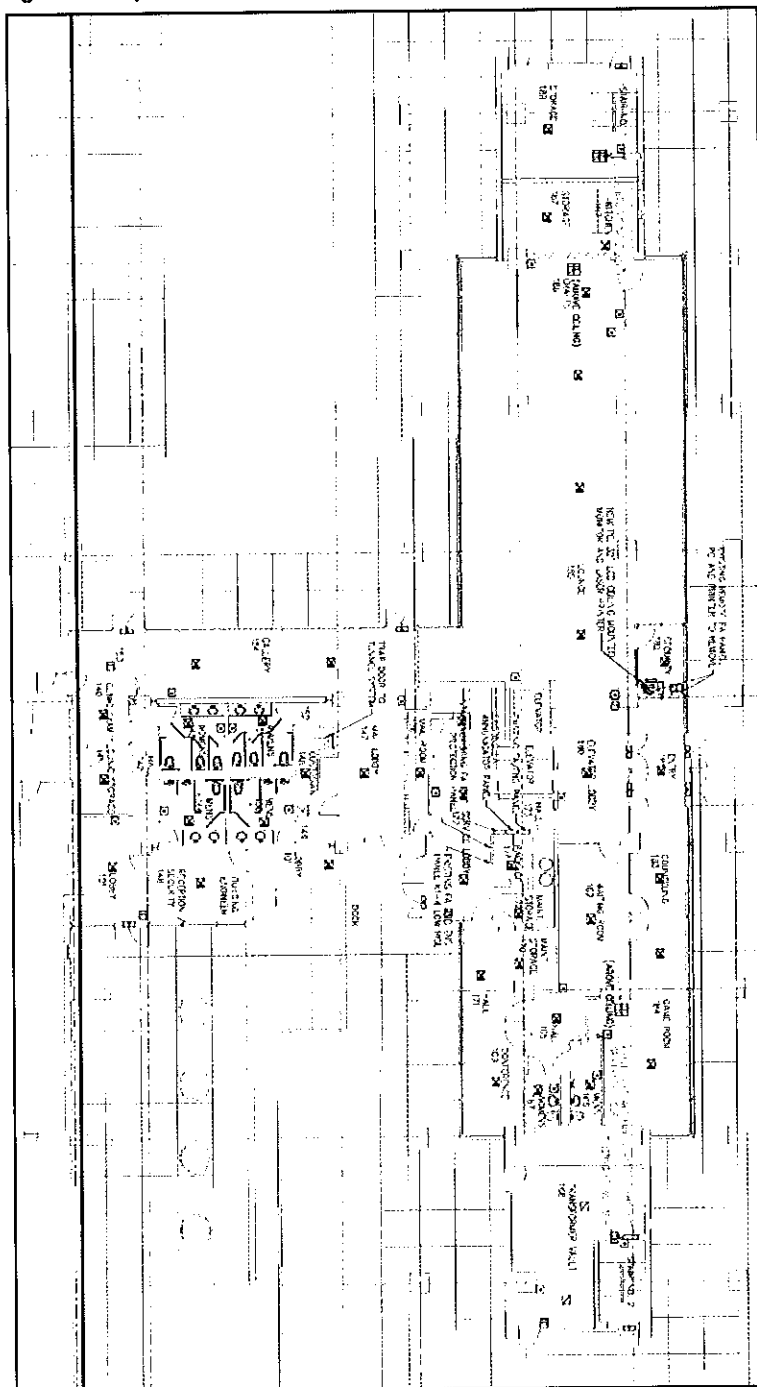
Building Description:

Wyandotte Towers

Location:

915 Washington Blvd. Kansas City, Kansas

Figure 1.5 Wyandotte Tower First Floor Plan (North Half)



Housing Authority of Kansas City, Kansas - ADA Transition Plan

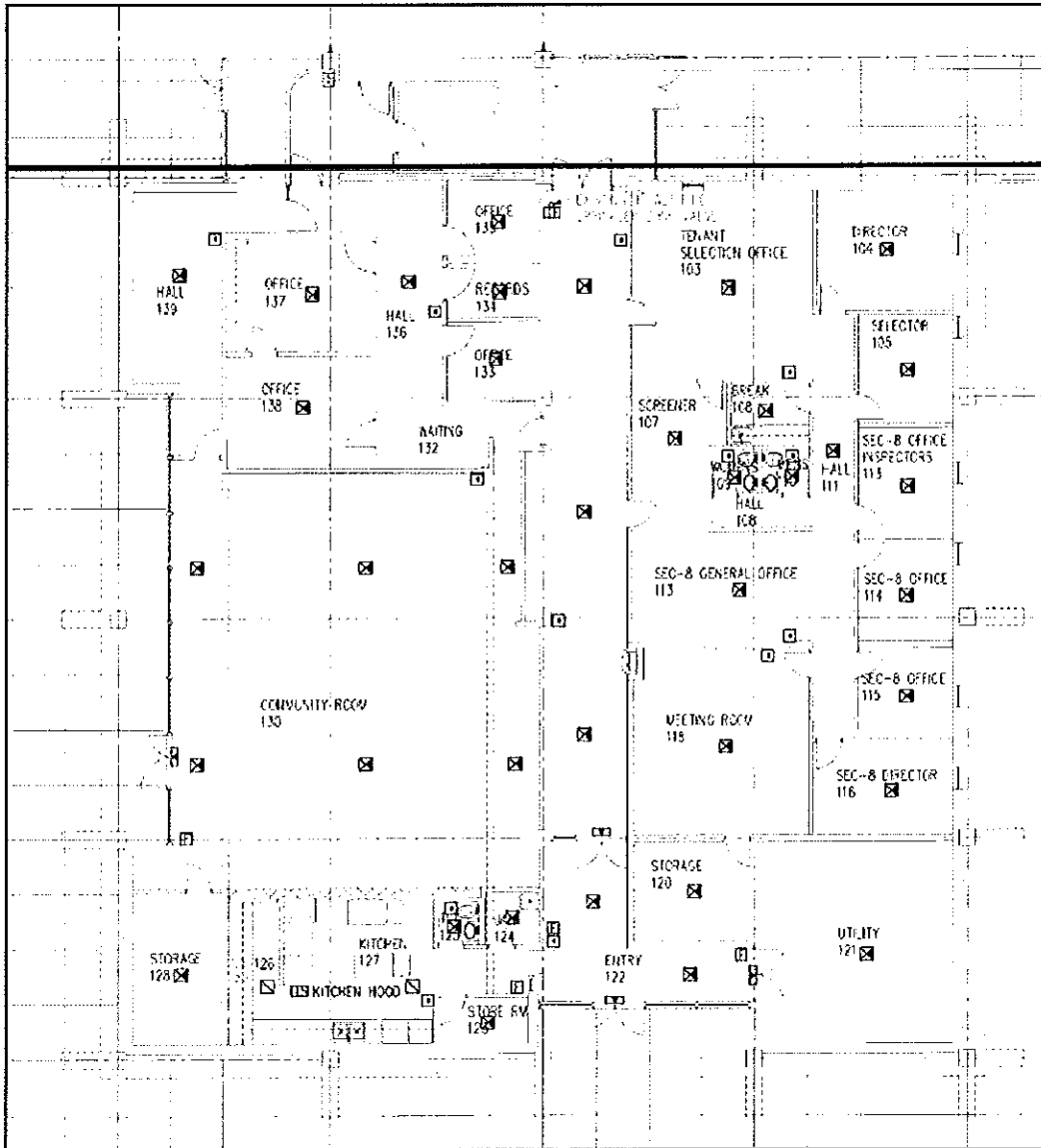
Building Description:

Wyandotte Towers

Location:

915 Washington Blvd. Kansas City, Kansas

Figure 1.6 Wyandotte Tower First Floor Plan (South Half)



Housing Authority of Kansas City, Kansas - ADA Transition Plan

Building Description:

Chalet Manor

Location:

1601 Birch Kansas City, Kansas 66106

Figure 2.1 Ramp Leading to Community Center at the Administrative Office Building



Figure 2.4 Stair Leading to Community Center at the Administrative Office Building

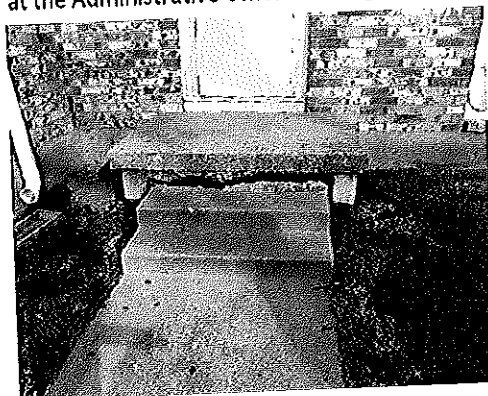


Figure 2.2 Ramp Leading to Community Center at the Administrative Office Building



Figure 2.5 Men's Restroom



Figure 2.3 Ramp Leading to Community Center at the Administrative Office Building

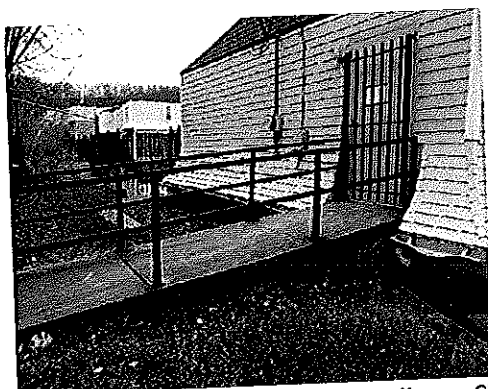


Figure 2.6 Women's Restroom



1750 S. 37th Court 66106 KCK

ALLOCATE LANNING FOUNTAIN, SO IT WON'T BE AGAINST SIDE WALL, FOR EASY FRONTAL APPROACH AND WITH BY THE C. L. 1ST FLOOR SPACE

W. F. 1ST FLOOR STAFF CLEAN ROOMS/STAFF

Housing Authority of Kansas City, Kansas - ADA Transition Plan

Building Description: Rosedale Towers
Location: 2314 W. 39th 66103 Kansas City, Kansas

Figure 4.1 Sidewalk in Front of North Parking Lot



Figure 4.2 Men's & Women's Restrooms

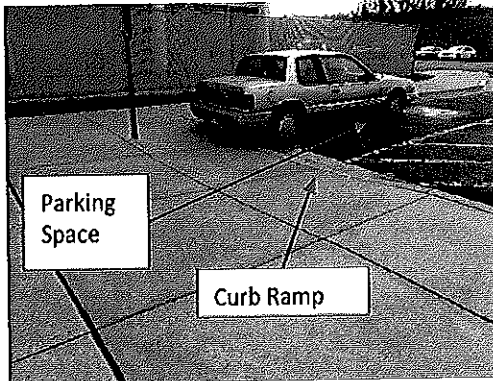


Housing Authority of Kansas City, Kansas - ADA Transition Plan

Building Description: Douglas Heights Towers

Location: 1742 S. 40th St 66106 Kansas City, Kansas

Figure 5.1 Curb Ramp at the West Parking Lot



Housing Authority of Kansas City, Kansas - ADA Transition Plan

Building Description:

Douglas Heights Scattered Sites

Location:

4108 Lawrence Dr. 66106 Kansas City, Kansas

Figure 6.1 Sidewalk Approaching the Stairs and the North of the Community Center



Figure 6. 4 Women's Restroom



Figure 6.2 Men's Restroom

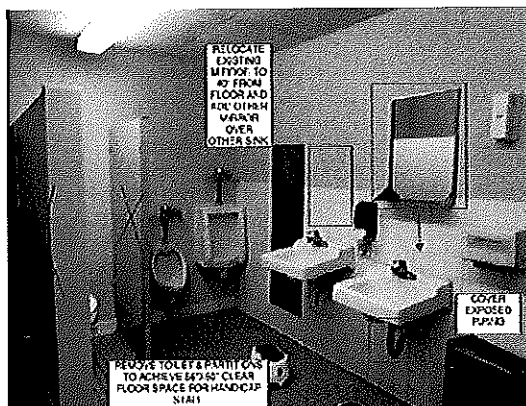
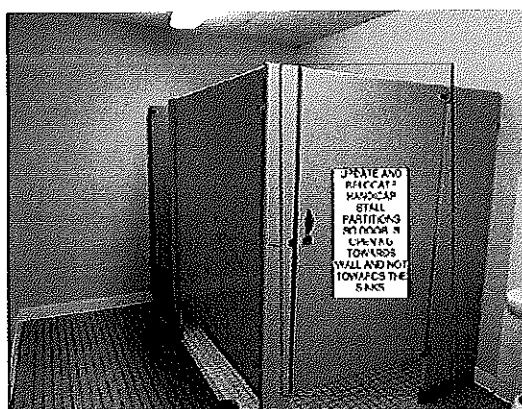


Figure 6. 3 Women's Restroom



Housing Authority of Kansas City, Kansas - ADA Transition Plan

Building Description:

St. Margaret's Park

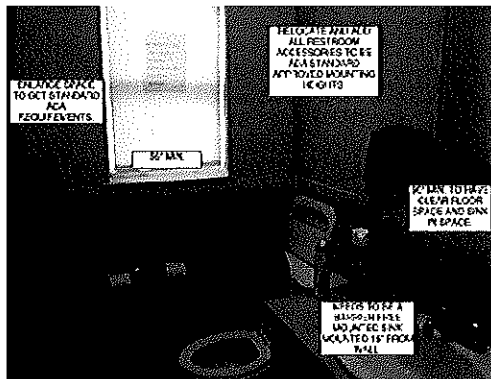
Location:

350 Perry Square 66101 Kansas City, Kansas

Figure 7.1 Ramp Along the Community Center



Figure 7.2 Manager's Office Restroom



Housing Authority of Kansas City, Kansas - ADA Transition Plan

Building Description:

Juniper Gardens

Location:

1980 N. 2nd St. 66101 Kansas City, Kansas

Figure 8.1 Sidewalks Across the Site

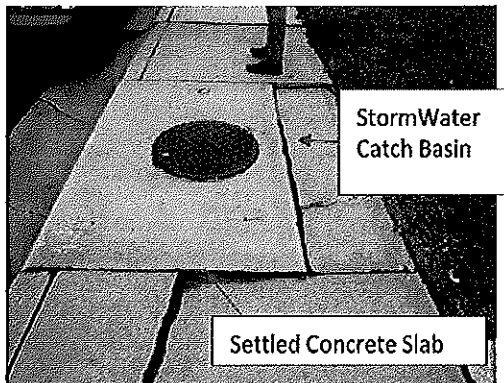


Figure 8.4 Stairs at the North Side of The Manager's Office Building



Figure 8.2 Women's Restroom

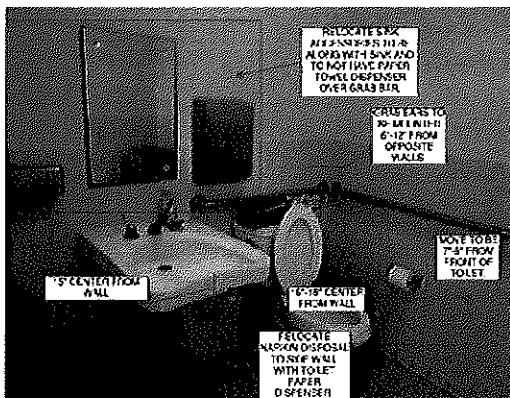
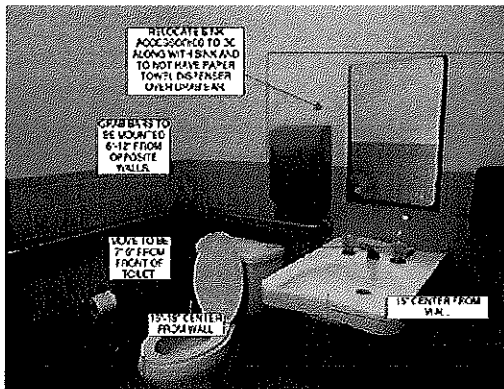


Figure 8.3 Women's Restroom



Housing Authority of Kansas City, Kansas-ADA Transition Plan

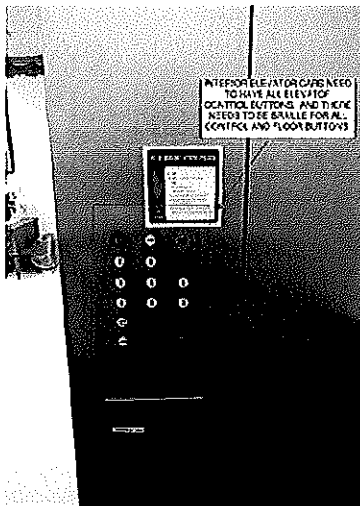
Building Description: Plaza Towers

Location: 1200 N. 75th Place 66112 KCK

Figure 9.1 Second Floor Men's & Women's Restroom



Figure 9.2 Elevators



Housing Authority of Kansas City, Kansas - ADA Transition Plan

Building Description:

Glanville Towers

Location:

730 Nebraska 66101 Kansas City, Kansas

Figure 10.1 Stairs from Main Building Entrance
to Nebraska Ave.



Housing Authority of Kansas City, Kansas - ADA Transition Plan

Building Description: Grandview Park Manor

Location: 1240 Ray 66102 Kansas City, Kansas

Figure 11.1 Sidewalks

